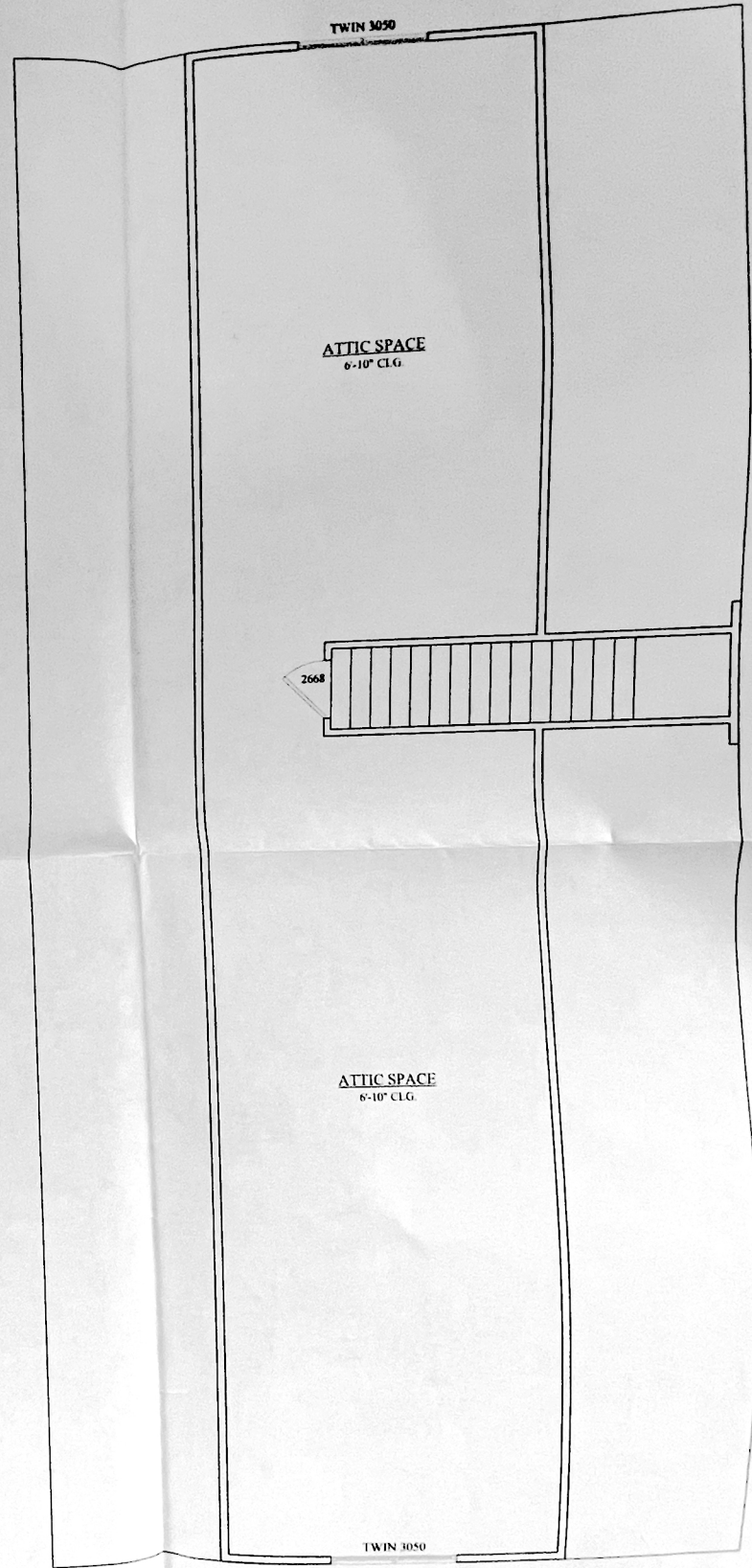
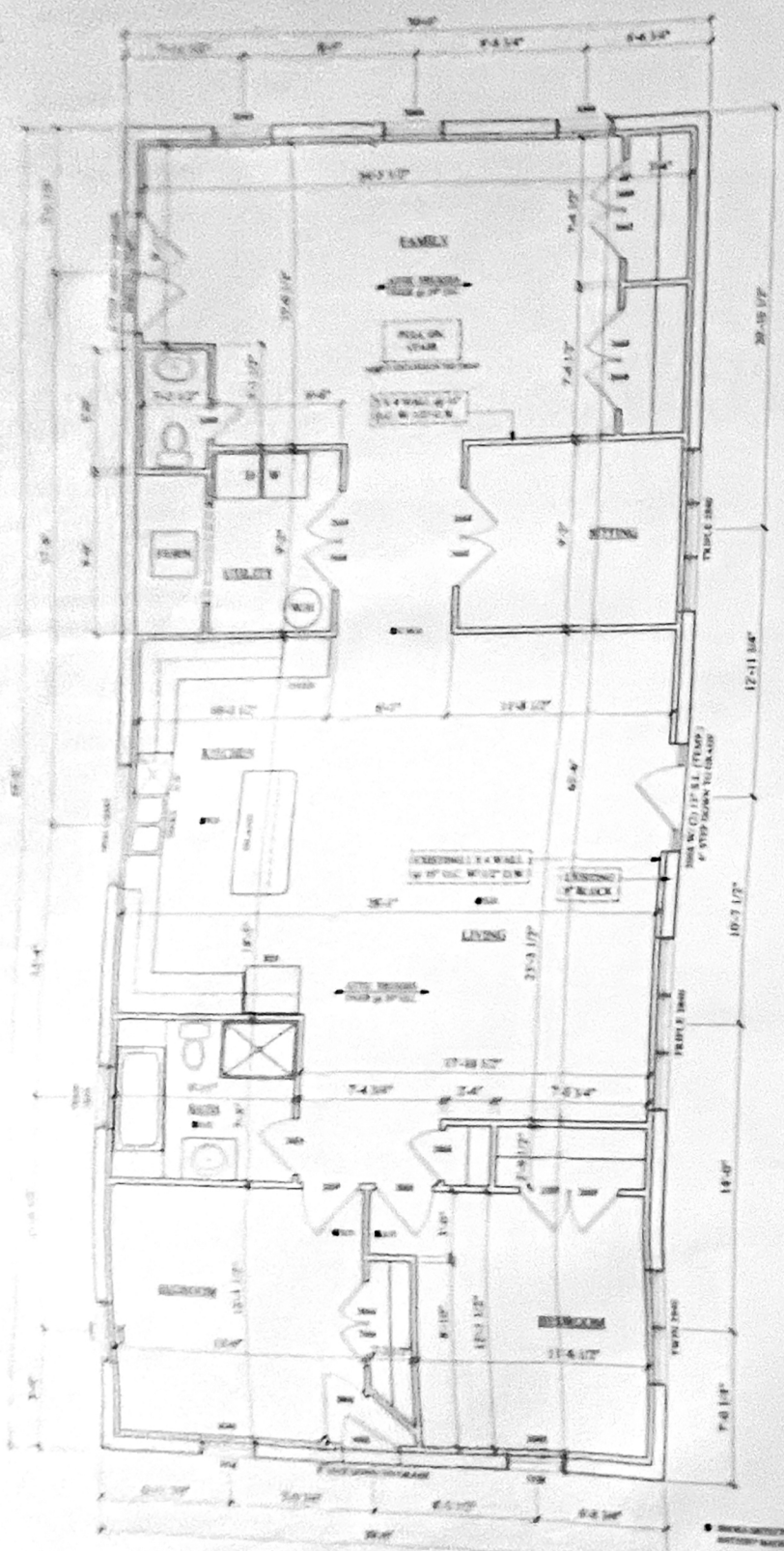


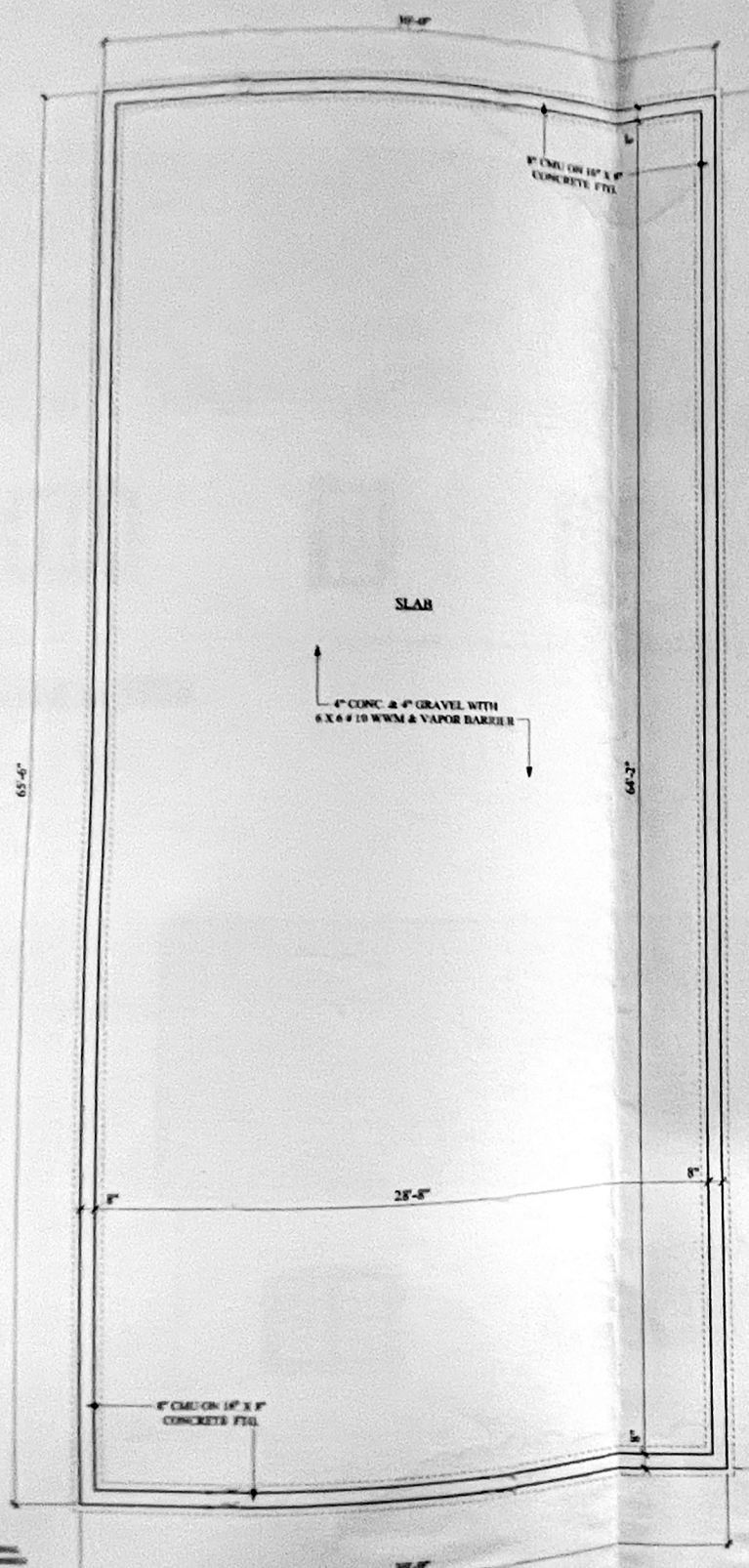
**EXISTING FIRST FLOOR PLAN**  
 1/4"=1'-0"



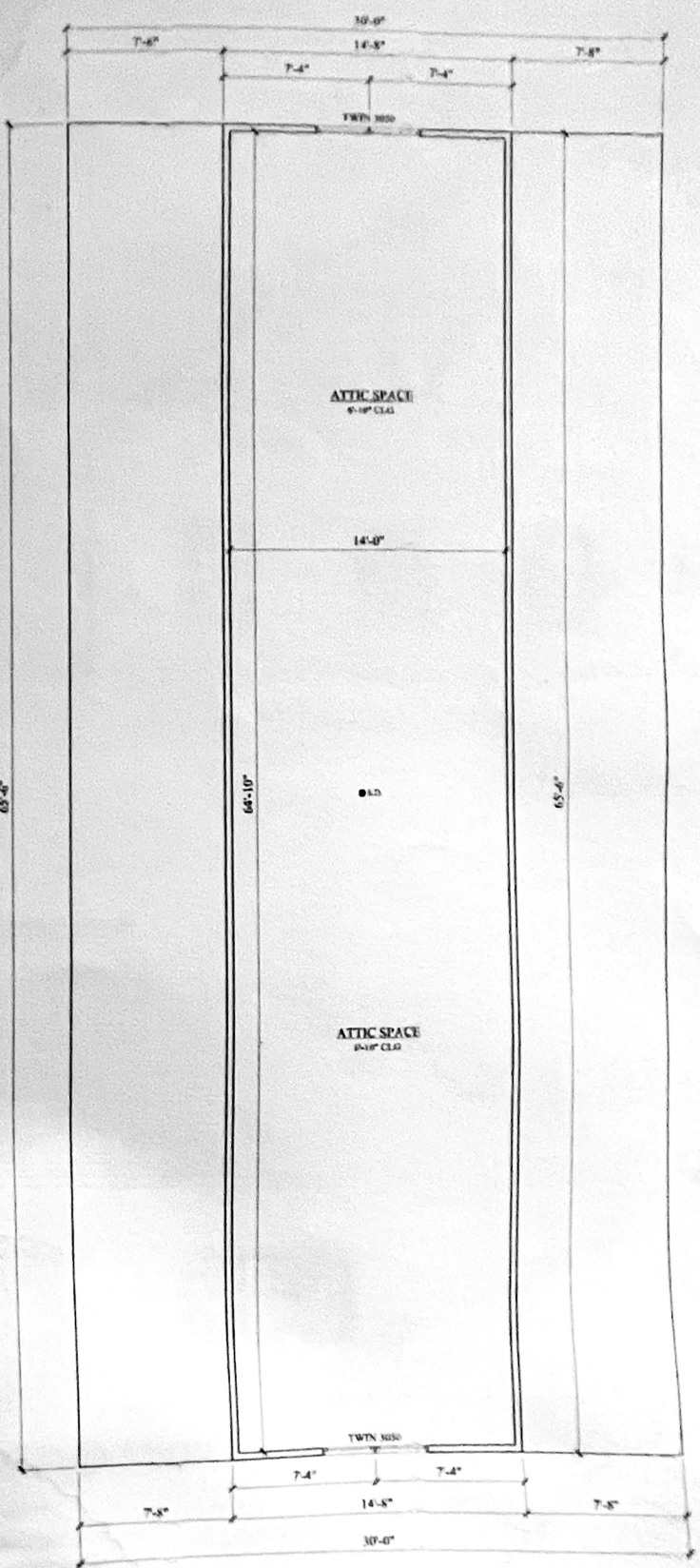
**EXISTING ATTIC SPACE**  
 1/4"=1'-0"



**EXISTING FIRST FLOOR PLAN**  
1/4"=1'-0"

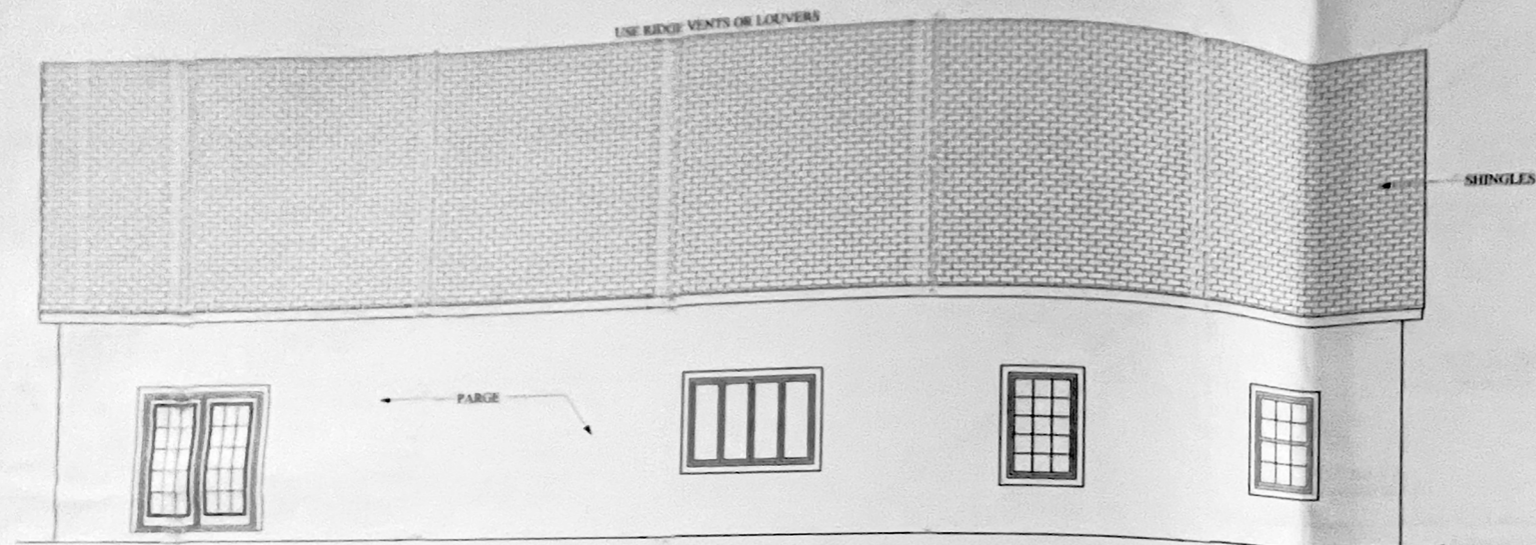


**EXISTING FOUNDATION PLAN**  
1/4"=1'-0"



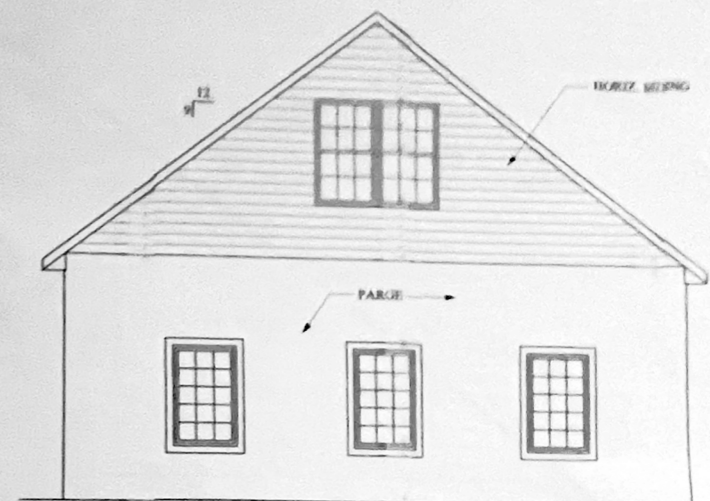
**EXISTING ATTIC SPACE**  
1/4"=1'-0"

|                             |               |
|-----------------------------|---------------|
| <b>CLEMONS RESIDENCE</b>    |               |
| 10/2/19                     |               |
|                             |               |
| <b>EXISTING FLOOR PLANS</b> | <b>1 OF 3</b> |



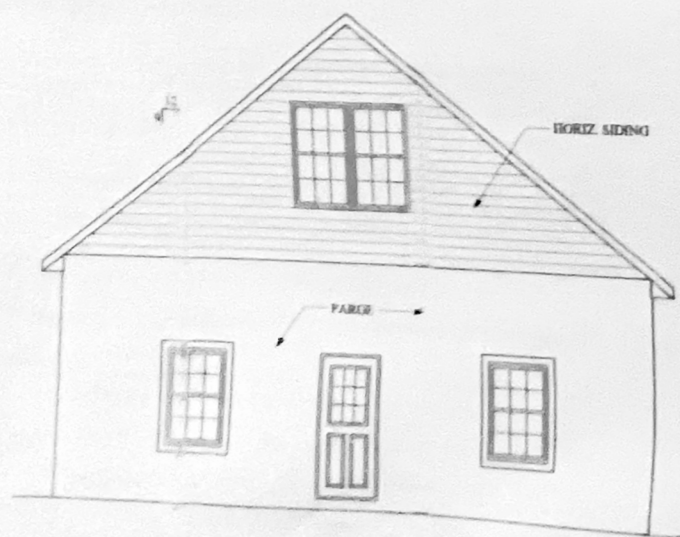
**LEFT SIDE ELEVATION**

1/4"=1'-0"



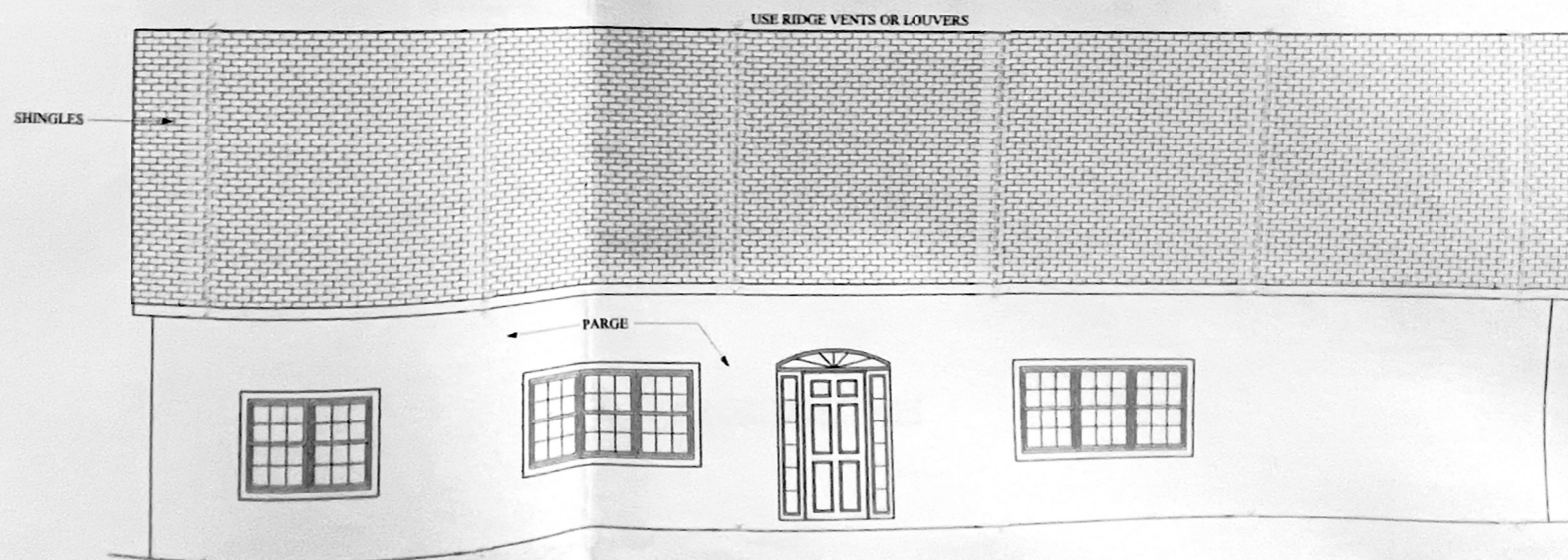
**REAR ELEVATION**

1/4"=1'-0"



**FRONT ELEVATION**

1/4"=1'-0"



**RIGHT SIDE ELEVATION**

1/4"=1'-0"

|                          |  |        |
|--------------------------|--|--------|
| <b>CLEMONS RESIDENCE</b> |  |        |
| 10/2/19                  |  |        |
| EXISTING ELEVATIONS      |  |        |
|                          |  | 2 OF 3 |

**COVER SHEET WITH CODE NOTES MUST BE ATTACHED, IRC 2015**

No alterations shall be made unless an approved set of plans is on the job site.

All Electrical, Mechanical & Plumbing Construction must be done in accordance with the adopted County Codes & subject to local inspection.

All structural Joists and Beams to be sized by a structural engineer.

**FOOTINGS:** Footing shall bear on undisturbed soil & below frost line (Minimum 30 inches finish grade to bottom). Minimum continuous footing size is: Depth 8 inches, Width 2X width of foundation wall. Minimum pier footing size is: 16 inches round or 14 inches square By 8 inches thick. Provide continuous footing under all exterior walls.

**FOUNDATION WALLS:** Reinforce masonry & concrete Foundation walls per the IRC the exceed maximum allowable height. The maximum depth of unbalanced fill allowed for foundation walls: 8" CMU = 4', 10" CMU = 5', 12" CMU = 6', 8" plain concrete = 7'.

**CONCRETE FLOORING:** Concrete slab on grade to be a Minimum of 3-5/8" thick with 6 mil vapor barrier. A base course of 4" thick crushed stone or gravel is required for slab below grade.

**BASEMENT EGRESS:** Basement & every sleeping room shall have at least one emergency escape & rescue opening. Emergency escape exit shall be directly to the outside. Emergency escape & rescue opening shall have a minimum net clear opening of 5.7 sq. ft. (5.0 sq. ft. for grade floor windows). Min Net opening height = 24 inches; Min Net opening width = 20 inches; Max sill height = 44 inches. Emergency escape & rescue opening is not required with basement to house mechanical equipment & not exceeding total floor area of 200 sq. ft.

**DRAIN TILE:** Surface drains are required for dwelling with basement, cellars, crawl spaces, or floor below grade & must be located inside & outside of the foundation. Weep holes are required with hollow blocks, minimum 48 inches apart.

**WATERPROOFING:** Exterior walls that retain earth and enclose interior spaces & floors below grade shall be waterproofed from top to the finished grade. Waterproofing shall consist of either, 2-ply hot dipped felt, 55-lb roll roofing, 6 mil Polyethylene, 6 mil polyethylene, 40 mil flexible polymer-modified asphalt, 1/8 inch (3mm) cement-based fiber-reinforced waterproof coating, 60 mil (.022mm) solvent-free liquid-applied synthetic rubber. All joints in membrane waterproofing shall be lapped & sealed with an adhesive compatible with the membrane.

**DECK:** Deck construction must comply with Section R507 & all the specifications provided in the attached Deck Construction Guide.

**WOOD FRAMING:** Provide double joints under oversize bathroom tubs. Firestop all duct chases, bulkheads, laundry chases, metal flues, sub traps & all shafts @ each floor. In un-sprinkled spaces, provide 1/2 inch Type "X" gypsum board at the underside of all floor assemblies using 2" x 4" or less & all engineered floor joist.

**MANUFACTURED FRAMING:** Submit two (2) copies of roof truss fabricator's shop details for approval to the building inspector at framing inspection, if pre-fabricated trusses are used. Submit two(2) copies of manufactured floor joist & beam fabricator's span & load data for approval to the building inspectors at the time of framing inspection, if pre-fabricated floor joists & beams are used.

**TRUSS KEEPS & COLLAR TIES:** Provide 15-1/2" stud at roof truss bearings for R-49 insulation installation (15-1/2" minimum cavity required). Provide collar ties @ 4' spacing OR a structural ridge beam at all framed cathedral ceiling roof per Section R002.3.1.

**STAIRS:** Width = 36", Rise = 10" max, Riser = 7 1/2" max, Spiral stair is allowed with 26" min. clear width. Handrails required @ 4 or more risers. Guardrails required @ 36" high walking surfaces 30" or greater above lower surface. Maximum 4" spacing of pickets. A landing is required to an exterior door unless served by 2 or fewer risers & the door does not swing over the stairway. The exterior door shall be pivoted with a landing.

**GARAGE:** Attached garage separation from residence & attic = 1/2 inch Type "X" gypsum board on common walls & walls supporting floor/ceiling assemblies. Habitable room above garage = 5/8 inch Type "X" gypsum board. Garage floor shall be of approved non-combustible floor materials. Opening shall be equipped with 20 minute fire-rated or 1-3/8 inches solid wood or composite-steel door, equipped with self-closing device. No openings into sleeping areas.

**INSULATION:** R-49 ceiling; R-20 wall; R-19 floors over unheated areas. Slab-on-grade floors, R10, 2 feet. Basement with normal ventilation; R-19 ceiling; R-13 wall. Window, U-factor=0.35; Skylight, U-factor = 0.55.

**CRAWL SPACE:** 18" X 24" access crawl opening shall be provided to all under-floor spaces. Vents to be located per Section R408.

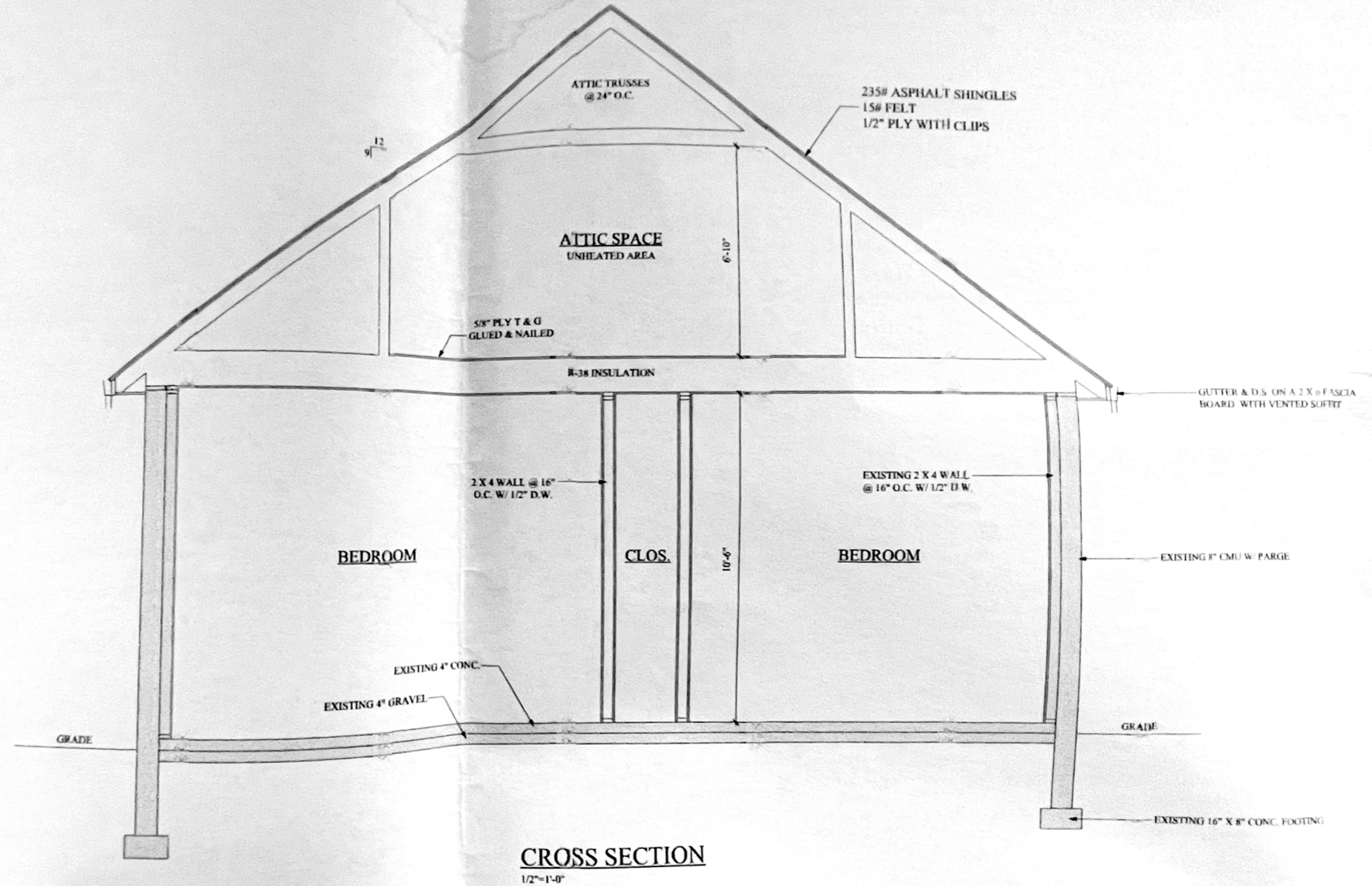
**ATTIC ACCESS:** 22" X 30" access opening shall be provided to any attic area having a clear height of 30 inches or more. A permanent or pull down stairway in all new construction.

**GLAZING:** Safety glazing required per Section R308. Window fall protection shall be provided per Section R312.

**SMOKE ALARMS:** Location shall be as follows: 1) In each sleeping room. 2) Outside each separate sleeping area in the immediate vicinity of the bedrooms. 3) On each additional story of the dwelling including basements & habitable attics but not open spaces or uninhabitable attic. In dwellings or units with split levels without an intervening door between the adjacent levels, a smoke alarm shall suffice for the adjacent lower level provided that the lower level is less than an full-story below the upper level.

**AUTOMATIC FIRE SPRINKLER SYSTEMS:** An automatic residential fire sprinkler system shall be installed in one & two-family dwellings & if construction, alteration, enlargement, replacement, or repair constitutes "substantial improvement" Exception: An automatic sprinkler system shall not be required for New Buildings constructed on lots where the water & sewer plans received approval from the agency prior to January 1, 2009.

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**CROSS SECTION**  
1/2"=1'-0"

|                          |               |
|--------------------------|---------------|
| <b>CLEMONS RESIDENCE</b> |               |
| 10/2/19                  |               |
|                          |               |
| <b>CROSS SECTION</b>     | <b>3 OF 3</b> |