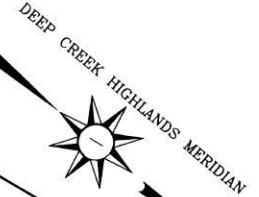


D C DEVELOPMENT LLC  
644/351



AT THE REQUEST OF HIGHLAND ENGINEERING & SURVEYING, INC. THIS PLAT WAS FILED THE  
DATE 2008 DAY OF September 2008 IN PLAT  
CASE DKM 3 FILE 219

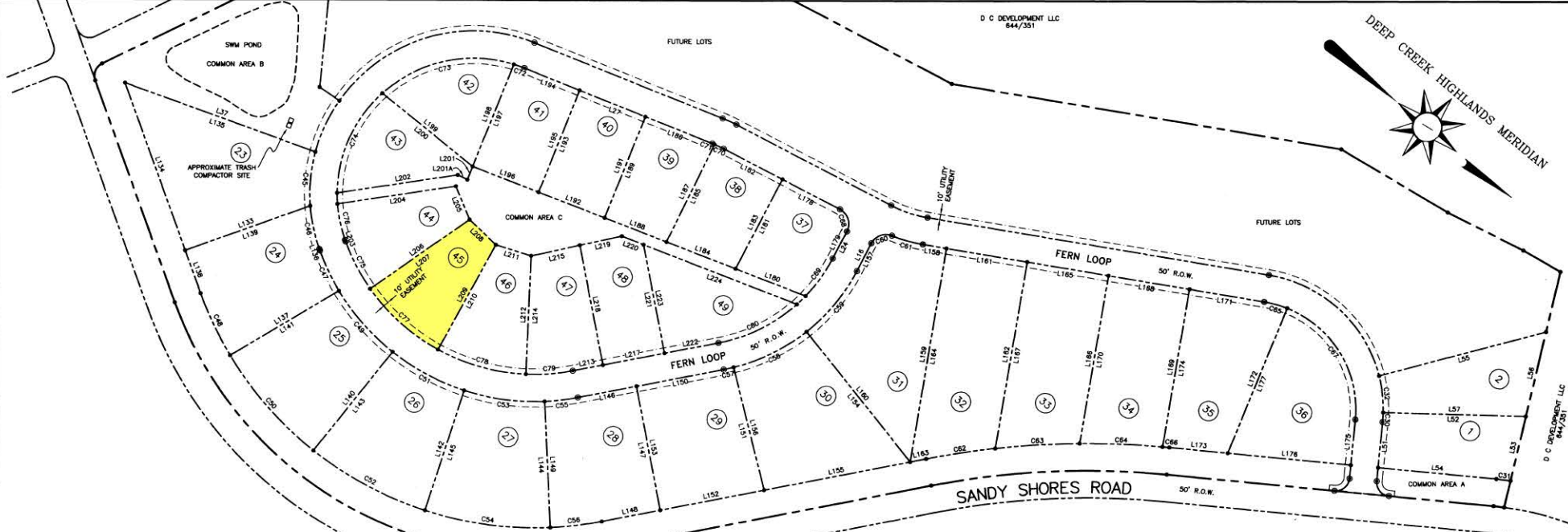
**APPROVAL/REVIEW BLOCK.**  
APPROVED BY THE GARRETT COUNTY PLANNING COMMISSION.  
*Charles C. Bender* 9-1-05  
CHARLES C. BENDER, CHAIRPERSON DATE

**GARRETT COUNTY DEPARTMENT OF PUBLIC UTILITIES**  
THE LOTS SHOWN ON THIS PLAN ARE APPROVED FOR SERVICE BY THE DEEP CREEK LAKE SANITARY SEWERAGE SYSTEM AND THE McHENRY COMMUNITY WATER SUPPLY SYSTEM.  
*Jeff Gilbert* 8/30/05  
JEFF GILBERT, P.E. DATE  
D.C. DEPARTMENT OF PUBLIC UTILITIES ENGINEER

**GARRETT COUNTY HEALTH DEPARTMENT APPROVAL**  
LOTS 1 & 2 AND 23 THROUGH 46 ARE TO BE SERVED BY THE DEEP CREEK LAKE SANITARY SEWERAGE SYSTEM AND THE McHENRY COMMUNITY WATER SUPPLY SYSTEM IN CONFORMANCE WITH THE COUNTY WATER AND SEWER PLAN.  
*Stephen J. Sheridan* 8/20/05  
STEPHEN J. SHERIDAN DATE  
GARRETT COUNTY ENVIRONMENTAL HEALTH DIRECTOR

**OWNER'S STATEMENT**  
WE, THE OWNERS OF THE LAND INVOLVING THE ACCOMPANYING PLANS, STATE THAT WE ARE THE MAJORITY OWNERS OR ARE THE AUTHORIZED OFFICERS OF THE CORPORATION THAT ARE THE MAJORITY OWNERS OF THIS PROPERTY IN PEACEFUL POSSESSION OF IT, AND THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF SAID LAND, AND THAT WE HEREBY CERTIFY AND ENDORSE THE ACCOMPANYING PLANS AND THAT WE WILL PROPOSE A RECORDED PLAN FOR REBIDDING (AS APPLICABLE), AFTER RECEIVING ALL REQUIRED MUNICIPAL APPROVALS.  
*Karen F. Myers* 8/29/05  
KAREN F. MYERS, OPERATING MEMBER DATE  
D.C. DEVELOPMENT, LLC

**DEVELOPERS UTILITIES GUARANTEE**  
ALL UNITS OFFERED FOR SALE IN SANDY SHORES HEIGHTS WILL HAVE THE COMMUNITY WATER SUPPLY AND COMMUNITY SEWERAGE SYSTEM FACILITIES AVAILABLE TO THEM.  
*Karen F. Myers* 8/29/05  
KAREN MYERS, MEMBER DATE  
D.C. DEVELOPMENT, LLC



**LOT 1 - 27,795 SQ. FT. / 0.638 ACRES / AVERAGE LOT WIDTH = 113.09'**  
LINE BEARING DISTANCE  
L11 S 52°27'47\"

**LOT 2 - 30,819 SQ. FT. / 0.708 ACRES / AVERAGE LOT WIDTH = 119.49'**  
LINE BEARING DISTANCE  
L150 N 54°55'38\"

**LOT 23 - 57,288 SQ. FT. / 1.315 ACRES / AVERAGE LOT WIDTH = 227.49'**  
LINE BEARING DISTANCE  
L133 S 59°45'00\"

**LOT 24 - 43,851 SQ. FT. / 1.007 ACRES / AVERAGE LOT WIDTH = 192.06'**  
LINE BEARING DISTANCE  
L133 N 50°09'01\"

**LOT 25 - 44,457 SQ. FT. / 1.021 ACRES / AVERAGE LOT WIDTH = 198.80'**  
LINE BEARING DISTANCE  
L140 N 48°21'47\"

**LOT 26 - 44,457 SQ. FT. / 1.021 ACRES / AVERAGE LOT WIDTH = 198.80'**  
LINE BEARING DISTANCE  
L141 N 70°57'18\"

**LOT 27 - 44,457 SQ. FT. / 1.021 ACRES / AVERAGE LOT WIDTH = 198.80'**  
LINE BEARING DISTANCE  
L144 N 47°21'47\"

**LOT 28 - 43,560 SQ. FT. / 1.000 ACRES / AVERAGE LOT WIDTH = 190.70'**  
LINE BEARING DISTANCE  
L146 N 50°59'08\"

**LOT 29 - 43,560 SQ. FT. / 1.000 ACRES / AVERAGE LOT WIDTH = 188.95'**  
LINE BEARING DISTANCE  
L150 S 39°57'17\"

**LOT 30 - 53,188 SQ. FT. / 1.221 ACRES / AVERAGE LOT WIDTH = 220.12'**  
LINE BEARING DISTANCE  
L154 N 11°23'53\"

**LOT 31 - 56,793 SQ. FT. / 1.304 ACRES / AVERAGE LOT WIDTH = 335.80'**  
LINE BEARING DISTANCE  
L157 S 77°31'51\"

**LOT 32 - 55,791 SQ. FT. / 1.281 ACRES / AVERAGE LOT WIDTH = 154.17'**  
LINE BEARING DISTANCE  
L161 N 30°29'37\"

**LOT 33 - 49,414 SQ. FT. / 1.134 ACRES / AVERAGE LOT WIDTH = 151.99'**  
LINE BEARING DISTANCE  
L165 N 30°29'37\"

**LOT 34 - 45,397 SQ. FT. / 1.042 ACRES / AVERAGE LOT WIDTH = 150.64'**  
LINE BEARING DISTANCE  
L168 N 30°29'37\"

**LOT 35 - 43,560 SQ. FT. / 1.000 ACRES / AVERAGE LOT WIDTH = 146.37'**  
LINE BEARING DISTANCE  
L171 N 30°29'37\"

**LOT 36 - 43,560 SQ. FT. / 1.000 ACRES / AVERAGE LOT WIDTH = 144.77'**  
LINE BEARING DISTANCE  
L175 N 30°29'37\"

**LOT 37 - 25,897 SQ. FT. / 0.595 ACRES / AVERAGE LOT WIDTH = 143.48'**  
LINE BEARING DISTANCE  
L178 N 12°28'30\"

**LOT 38 - 26,578 SQ. FT. / 0.610 ACRES / AVERAGE LOT WIDTH = 137.53'**  
LINE BEARING DISTANCE  
L182 N 12°28'30\"

**LOT 39 - 25,900 SQ. FT. / 0.595 ACRES / AVERAGE LOT WIDTH = 128.00'**  
LINE BEARING DISTANCE  
L186 N 18°15'00\"

**LOT 40 - 26,178 SQ. FT. / 0.601 ACRES / AVERAGE LOT WIDTH = 130.00'**  
LINE BEARING DISTANCE  
L180 N 18°15'00\"

**LOT 41 - 26,350 SQ. FT. / 0.605 ACRES / AVERAGE LOT WIDTH = 130.02'**  
LINE BEARING DISTANCE  
L184 N 18°15'00\"

**LOT 42 - 26,111 SQ. FT. / 0.599 ACRES / AVERAGE LOT WIDTH = 103.74'**  
LINE BEARING DISTANCE  
L188 N 71°45'00\"

**LOT 43 - 25,150 SQ. FT. / 0.577 ACRES / AVERAGE LOT WIDTH = 100.00'**  
LINE BEARING DISTANCE  
L190 N 01°01'00\"

**LOT 44 - 26,318 SQ. FT. / 0.604 ACRES / AVERAGE LOT WIDTH = 108.50'**  
LINE BEARING DISTANCE  
L203 S 30°09'01\"

**LOT 45 - 26,313 SQ. FT. / 0.604 ACRES / AVERAGE LOT WIDTH = 108.71'**  
LINE BEARING DISTANCE  
L207 N 74°58'56\"

**LOT 46 - 26,175 SQ. FT. / 0.601 ACRES / AVERAGE LOT WIDTH = 109.19'**  
LINE BEARING DISTANCE  
L210 S 78°42'47\"

**LOT 47 - 26,041 SQ. FT. / 0.598 ACRES / AVERAGE LOT WIDTH = 112.64'**  
LINE BEARING DISTANCE  
L213 S 50°59'08\"

**LOT 48 - 25,554 SQ. FT. / 0.587 ACRES / AVERAGE LOT WIDTH = 118.36'**  
LINE BEARING DISTANCE  
L217 S 50°59'08\"

- Notes:
- There are no existing or proposed wells or sewage disposal areas within 100 feet of the subdivision boundary unless otherwise shown.
  - It is the owner's responsibility to secure all pertinent permits related to wetlands, flood plains and waterway construction and obstruction from appropriate agencies.
  - No part of this property lies within any designated 100 year flood plain as shown on any Federal Emergency Management Agency Flood Plain Map.
  - Part of Tax Map 57, parcel 618.
  - Land Classification, LR - Lake Residential
  - Minimum Lot Area Required: 25,000 square feet. Minimum Lot Width Required: 100.00 feet (Cluster Method).
  - Total Acreage: 24,563 acres. Number of Lots: 29.
  - Developer: D C Development LLC, 212 Marsh Hill Road, McHenry, Maryland 21541.
  - Land Owner: D C Development LLC, 212 Marsh Hill Road, McHenry, Maryland 21541.
  - All the lands of Sandy Shores Heights are part of D.C. Development LLC (liber 644, page 351).
  - Easements:
    - All lots are subject to a five foot drainage and/or utility easement adjacent to each sideline.
    - Rights to the ten foot utility easement, shown hereon, will be conveyed to the appropriate agencies.
  - The roadways are not intended for dedication to the Garrett County roads system.
  - Building setback requirements are:
    - Front = 40'
    - Rear = 40'
    - Side = 15'
  - Required common area for Sandy Shores Heights is 23,047 acres, of which 6,545 acres will be provided on-site. Additional required common area will be 16,502 acres of the 84,081 acres Land Bank Parcel recorded June 2004 in DKM 1, File 187. The Land Bank Parcel will have 42,836 acres available for future cluster developments.
  - The lot widths shown are the average of the rear line and the width at the 40 foot front setback line.



RECORD PLAT OF  
**SANDY SHORES HEIGHTS - SECTION I**  
ELECTION DISTRICT NO. 6, GARRETT COUNTY, MARYLAND  
SCALE: 1" = 100' DATE: AUGUST 2005

**SURVEYOR'S CERTIFICATE**  
To all parties interested in the title to the property surveyed, I hereby certify that the property corners marked with a have been found and that property corners marked with a have been 1/2' rebar with cap set and that property corners marked with a are calculated points according to field survey in conjunction with the land records of said county and are correct to the best of my knowledge and belief; said locations are subject to change upon discovery of new and superior evidence, and that the accompanying plans and supporting documentation are true and accurate to the best of my knowledge.

*Richard E. Skippers*  
RICHARD E. SKIPPERS  
PROPERTY LINE SURVEYOR 3511  
EQUUS 880RP

**HIGHLAND ENGINEERING & SURVEYING, INC.**  
Telephone: 301-334-8185 1428 Memorial Drive  
Facsimile: 301-334-8317 Oakland, Maryland 21150

msb 354 145-1402