

2012 IECC CODE COMPLIANCE

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| C301.1 | CLIMATE ZONE 4 |
| C401.2 | COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS |
| C402.2 | INSULATION ABOVE DECK = R-20ci / MTL BLDGS = R-19+R-11 LS / ATTIC & OTHER = R-38. |
| C402.2 | WALL ABOVE GRADE INSUL MASS: R-11.4ci / MTL BLDG: R-13 + R-13ci / MTL FRAMED: R-13+R-7.5ci WOOD FRAMED & OTHERS: R-13 + R-3.8ci OR R-20. |
| C402.2 | INSUL BELOW-GRADE WALL: R-7.5ci |
| C402.2 | FLOOR INSUL, MASS: R-10.4ci / JOIST/FRAMING: R-30 |
| C402.2 | SLAB ON GRADE FLOORS INSUL. UNHEATED: R-10 FOR 24" BELOW. HEATED: R-15 FOR 24" BELOW |
| C402.2 | OPAQUE DOORS INUSL. SWINGING: U-0.61 / ROLL UP OR SLIDING: R-4.75 |
| C402.3 | BUILDING ENVELOPE REQUIREMENTS: FIXED FENESTRATION U-0.38 / OPERABLE FENESTRATION U-0.45 / ENTRANCE DOORS U-0.77 / SHGC 0.40 / SKYLIGHTS: U-FACTOR U0.50 / SHGC U-0.40 |
| C402.4.3 | MAX AIR INFILTRATION RATE FOR FENESTRATION ASSEMBLIES: WINDOWS 0.20 |
| C403 | BUILDING THERMAL ENVELOPE (AIR LEAKAGE) EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC |
| C405 | RECESSED LIGHTING; RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE |
| C405.5.2 | INTERIOR LIGHTING POWER ALLOWANCES: STORAGE = 0.8 w/ft2 |
| C407.5.1 | HVAC SPECIFICATION ALLOWANCES AS PER TABLE C407.5.1(3) |
| C408 | SYSTEM COMMISSIONING AS PER C408 |

| REGULATION | EXISTING | ALLOWED/REQUIRED | PROPOSED |
|--------------------|-------------------|-------------------|-------------------|
| ZONING DISTRICT | R-1-B | | |
| BUILDING HEIGHT | 29'-6" | 40'-0" | 29'-6" |
| BUILDING FOOTPRINT | ~18'-2" x 52'-4" | | ~18'-2" x 52'-4" |
| LOT SIZE | ~25'-0" x 214'-9" | min. 50'-0" width | ~25'-0" x 214'-9" |
| FLOOR AREA RATIO | - | - | - |
| LOT COVERAGE | 30.3% | 40% | 32.6% |
| FRONT YARD | 18'-0" | MAINTAIN EXISTING | MAINTAIN EXISTING |
| SIDE YARD (L) | 3'-10" | 8'-0" | 0'-0" |
| SIDE YARD (R) | 3'-0" | 8'-0" | MAINTAIN EXISTING |
| REAR YARD | 147'-6" | 25'-0" | MAINTAIN EXISTING |
| OFF-STREET PARKING | 1 | N/A | MAINTAIN EXISTING |

SCOPE OF WORK:
INTERIOR RENOVATION TO AN EXISTING 2-STORY SINGLE FAMILY DWELLING.

PROPERTY INFORMATION:
4412 DOUGLAS ST. NE
ZONING - R-1-B
WARD - 7
ANC - 7D
SMD - 7D03
PROPERTY LAND AREA - SF
MAX STORIES - 3
MAX LOT COVERAGE - 40%
MAX HEIGHT - 40'-0"
SIDE YARD SETBACK - 8'-0"
REAR YARD SETBACK - 25'-0"

APPLICABLE CODES

Title 12 DCMR, DC Construction Codes Supplement (2013)
DCMR 12 DC Construction Codes Supplement (2008)
Amendment to DCMR 12 DC Construction Code Supplement 2008

2013 District of Columbia Building Code
2013 District of Columbia Property Maintenance Code
2013 District of Columbia Green Construction Code
2013 District of Columbia Energy Conservation Code
2013 District of Columbia Fire Code
2013 District of Columbia Mechanical Code
2013 District of Columbia Plumbing

2012 ICC Existing Building Code
2012 ICC Fuel Gas Code
2012 ICC Residential Code for One- and Two-Family Dwellings
2011 National Electrical Code
2012 ICC Building Code
2012 ICC Mechanical Code
2012 ICC Plumbing Code
2012 ICC Property Maintenance Code
2012 ICC Fire Code
2012 ICC Energy Conservation Code
2012 ICC Green Construction Code

Housing Code and Housing Businesses
Environmental Laws and Regulations
DCMR Title 11 - Zoning Regulations
Green Building Act of 2006 as amended (D.C. Code §§ 6-1451.01 to 6-1451.11)
Green Building Act Regulations
Federal Lead Laws
District Heating Regulations
District Noise Regulations
Outdoor Advertising

DRAWING LIST

0000 - TITLE SHEET & SITE PLAN
0001 - DCRA SURVEYOR PLAT
0002 - SEDIMENT AND EROSION PLAN
0003 - SEDIMENT AND EROSION PLAN
0004 - DOEE DETAILS

AD001 - CELLAR DEMO PLAN
AD002 - FIRST FLOOR DEMO PLAN
AD003 - SECOND FLOOR DEMO PLAN

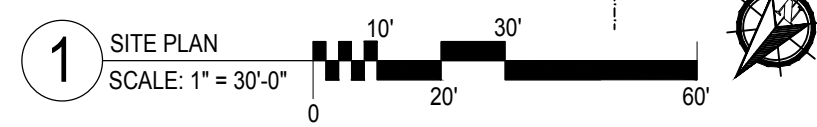
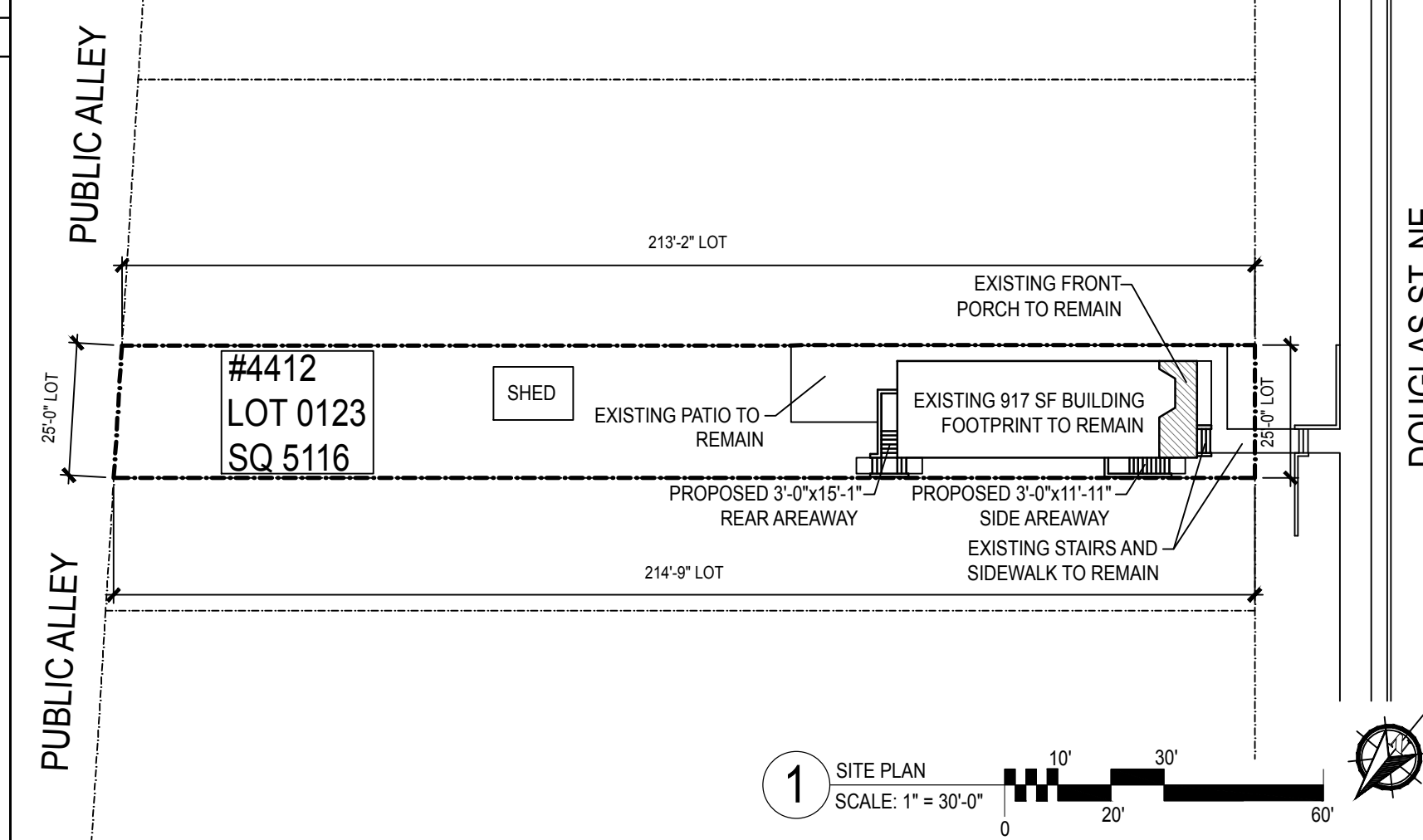
S001 - GENERAL NOTES & DESIGN CRITERIA
S002 - SPECIAL INSPECTIONS
S003 - EXISTING FRAMING PLANS
S004 - EXISTING FRAMING PLANS
S005 - SCHEDULES

S101 - UNDERPINNING & FOUNDATION PLAN
S102 - FIRST FLOOR FRAMING PLAN
S103 - SECOND FLOOR FRAMING PLAN
S104 - ROOF FRAMING PLAN

S201 - FOUNDATION DETAILS
S202 - FOUNDATION DETAILS
S203 - FOUNDATION DETAILS
S204 - FOUNDATION DETAILS

S301 - FRAMING DETAILS
S302 - FRAMING DETAILS
S303 - FRAMING DETAILS

A001 - CELLAR PLAN
A002 - FIRST FLOOR PLAN
A003 - SECOND FLOOR PLAN
A004 - PROPOSED BUILDING SECTION
A005 - PROPOSED AREAWAY SECTION
A006 - FRONT ELEVATIONS
A007 - EXISTING SIDE ELEVATION
A008 - PROPOSED SIDE ELEVATION
A009 - REAR ELEVATIONS
A010 - EXISTING SIDE ELEVATION
A011 - PROPOSED SIDE ELEVATION



CONSTRUCTION TYPE :
Type 3B Masonry Framed, Unprotected

IBC USE GROUP :
Type R-3 (Single Family Dwelling)

4412 DOUGLAS ST. NE - SITE PLAN
SQUARE - 5116 / SUFFIX - N/A / LOT - 0123

PROPOSED EXTERIOR AREAWAY & INTERIOR RENOVATION
SINGLE FAMILY DWELLING
SCALE : 1" = 30'-0"

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS AND THE PLAN AND SPECIFICATIONS WERE PREPARED BY ME, AN ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA, LICENSE NUMBER ARC102517, EXP. DATE 4/30/2022.

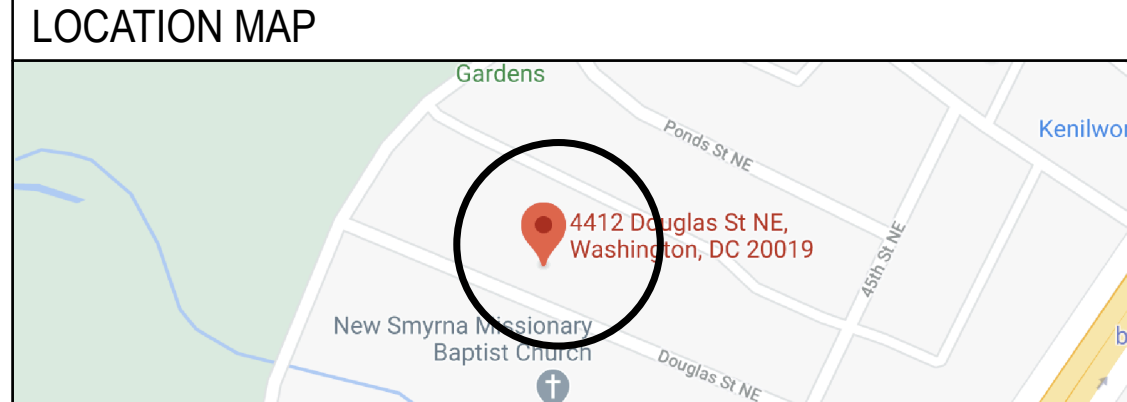
CONTRACT DOCUMENTS HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR BOTH ARCHITECTURE & STRUCTURAL DESIGN, DC Lic. #ARC102517.

REVISIONS

CARBALLO ARCHITECTURE, LLC
ADAM CARBALLO, ARCHITECT
DC LIC# ARC102517
443-745-1100

CLIENT
MR. PETER CHINLOY

4412 DOUGLAS ST. NE WASHINGTON, D.C. 20019 SINGLE FAMILY DWELLING - PROPOSED EXTERIOR AREAWAY & INTERIOR RENOVATION



LEGEND

NOT IN SCOPE

EXISTING EXTERIOR PARTITION

0000
TITLE SHEET AND SITE PLAN
4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., January 12, 2021

Plat for Building Permit of :

SQUARE 5116 LOT 123

Scale: 1 inch = 30 feet

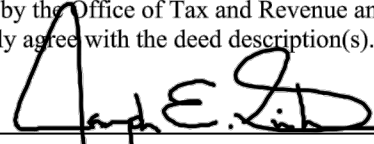
Recorded in Book 1848 Page 438

Receipt No. 21-02066

Drawn by: A.S.

Furnished to: ADAM CARBALLO

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."



Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

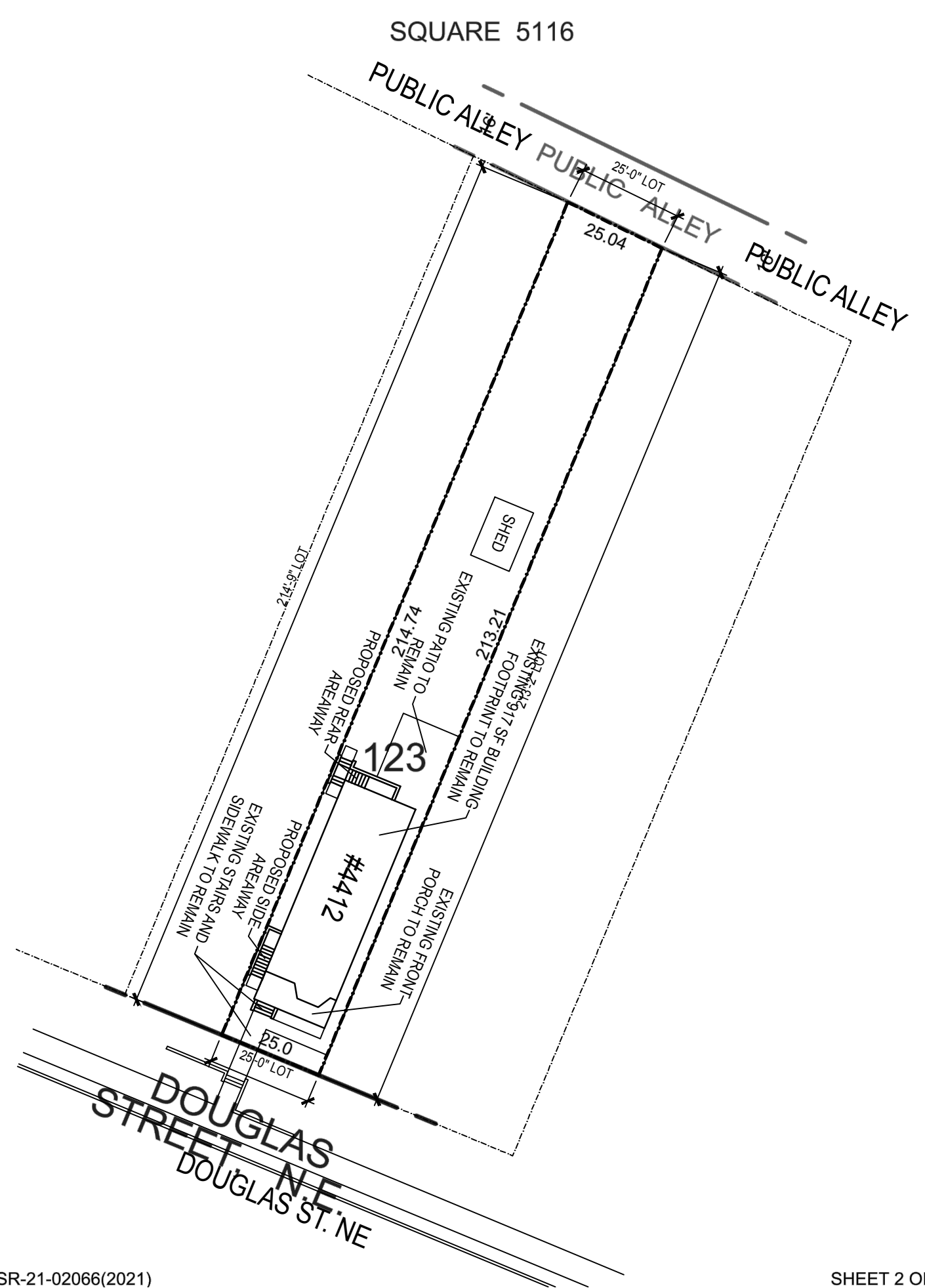
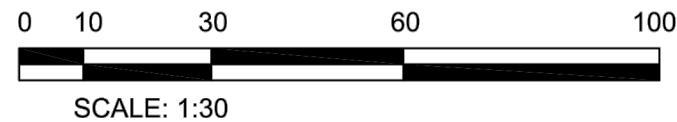
I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

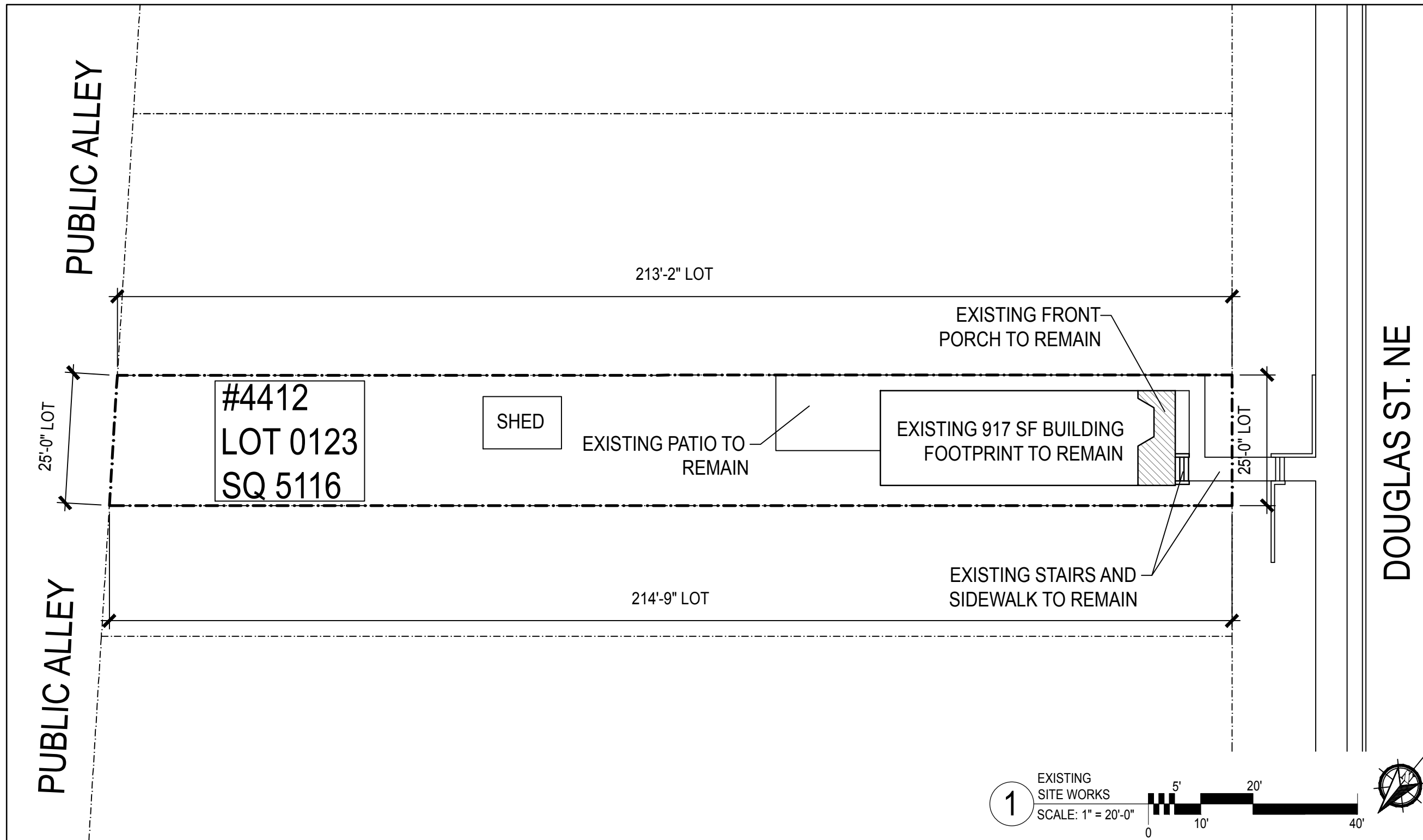
Signature: _____

Date: _____

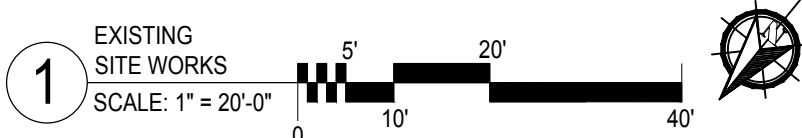
Printed Name: _____ Relationship to Lot Owner: _____

If a registered design professional, provide license number _____ and include stamp below.





| | | |
|--|--|---|
| PROPERTY INFORMATION: 4412 DOUGLAS ST. NE SQUARE - 5116 LOT - 0123 PROPERTY LAND AREA - 5,339 SF | | |
| PROJECT NARRATIVE: PROPOSED EXTERIOR AREAWAY AND INTERIOR RENOVATION TO AN EXISTING SINGLE-FAMILY DWELLING | | |
| OWNER INFORMATION: LUCILLE C. BARNES 4412 DOUGLAS ST. NE WASHINGTON, D.C. 20019 | | PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND I AM A LICENSED ARCHITECT ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA, LICENSE NUMBER ARC102517, EXP. DATE 4/30/2022 |
| DISTURBED AREA: 120 SF VOLUME OF EXCAVATION: 85 CUBIC YARDS VOLUME OF FILL: 53 CUBIC YARDS | | CONTRACT DOCUMENTS HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR BOTH ARCHITECTURE & STRUCTURAL DESIGN. DC Lic. #ARC102517. |
| REVISIONS 1. | | REVISIONS 1. |
| CARBALLO ARCHITECTURE, LLC ADAM CARBALLO, ARCHITECT DC LIC# ARC102517 443-745-1100 | | CLIENT MR. PETER CHINLOY |



SEDIMENT AND EROSION CONTROL PLAN GENERAL NOTES

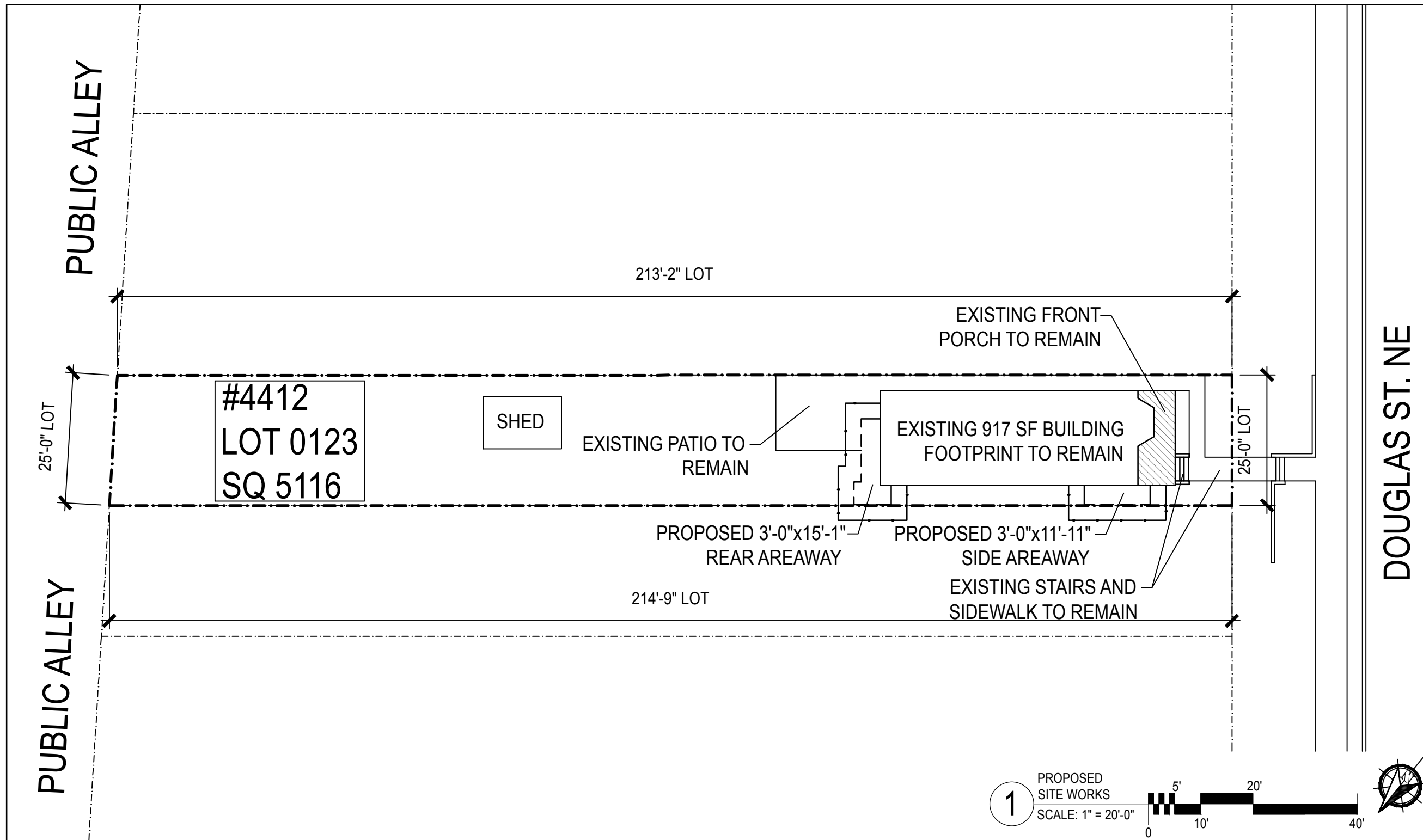
- Following initial land disturbance or re-disturbance, permanent or interim stabilization must be completed within seven (7) calendar days for the surfaces of all perimeter controls, dikes, swales, ditches, perimeter slopes, and slopes greater than three (3) horizontal to one (1) vertical (3:1); and fourteen (14) days for all other disturbed or graded areas on the project site. These requirements do not apply to areas shown on the plan that are used for material storage other than stockpiling, or for those areas on the plan where actual construction activities are being performed. Maintenance shall be performed as necessary so that stabilized areas continuously meet the appropriate requirements of the District of Columbia Standards and Specifications for Soil Erosion and Sediment Control (ESC). [21 DCMR § 542.9 (o)].
- ESC measures shall be in place before and during land disturbance. [21 DCMR § 543.6]
- Contact DOEE Inspection (202) 535-2977 to schedule a preconstruction meeting at least three (3) business days before the commencement of a land-disturbing activity. [21 DCMR § 503.7 (a)].
- A copy of the approved plan set will be maintained at the construction site from the date that construction activities begin to the date of final stabilization and will be available for DOEE inspectors. [21 DCMR § 542.15]
- ESC measures shall be in place to stabilize an exposed area as soon as practicable after construction activity has temporarily or permanently ceased but no later than fourteen (14) days following cessation, except that temporary or permanent stabilization shall be in place at the end of each day of underground utility work that is not contained within a larger development site. [21 DCMR § 543.7]
- Stockpiled material being actively used during a phase of construction shall be protected against erosion by establishing and maintaining perimeter controls around the stockpile. [21 DCMR § 543.16 (a)]
- Stockpiled material not being actively used or added to shall be stabilized with mulch, temporary vegetation, hydro-seed or plastic within fifteen (15) calendar days after its last use or addition. [21 DCMR § 543.16 (b)]
- Fill material must be free of contamination levels of any pollutant that is, or may be considered to represent, a possible health hazard to the public or may be detrimental to surface or ground water quality, or which may cause damage to property or the drainage system. All fill material must be free of hazardous materials and comply with all applicable District and federal regulations.

- Request best management practices from sedimentation and other damage during construction for proper postconstruction operation. [21 DCMR § 543.5]
- Request a DOEE inspector's approval after the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. [21 DCMR § 542.12 (a)]
- Request a DOEE inspector's approval after final stabilization of the site and before the removal of erosion and sediment controls. [21 DCMR § 542.12 (b)]
- Final stabilization means that all land-disturbing activities at the site have been completed and either of the following two criteria have been met: (1) a uniform (for example, evenly distributed, without large bare areas) perennial/vegetative cover with a density of seventy percent (70%) of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures, or (2) equivalent permanent stabilization measures have been employed (such as the use of riprap, gabions, or geotextiles). [21 DCMR § 542.12 (b.1, b.2)]
- Follow the requirements of the United States Environmental Protection Agency approved Stormwater Pollution Prevention Plan (SWPPP) and maintain a legible copy of this SWPPP on site. [21 DCMR § 543.10 (b)]
- Post a sign that notifies the public to contact DOEE in the event of erosion or other pollution. The sign will be placed at each entrance to the site or as directed by the DOEE inspector. Each sign will be no less than 18 x 24 inches in size and made of materials that will withstand weather for the duration of the project. Lettering will be at least 1 inch in height and easily readable by the public from a distance of twelve feet (12 ft). The sign must direct the public, in substantially the following form: "To Report Erosion, Runoff, or Stormwater Pollution" and will provide the construction site address, DOEE's telephone number (202-535-2977), DOEE's e-mail address (EB.scheduling@dc.gov), and the 311 mobile app heading ("Construction-Erosion Runoff"). [21 DCMR § 543.22] If a site disturbs 5,000 square feet of land or greater, the ESC plan must contain the following statement:
- A Responsible Person must be present or available while the site is in a land-disturbing phase. The Responsible Person is charged with being available to (a) inspect the site and its ESC measures at least once biweekly and after a rainfall event to identify and remedy each potential or actual erosion problem, (b) respond to each potential or actual erosion problem identified by construction personnel, and (c) speak on site with DOEE to remedy each potential or actual erosion problem. A Responsible Person shall be (a) licensed in the District of Columbia as a civil or geotechnical engineer, a land surveyor, or architect; or (b) certified through a training program that DOEE approves, including a course on erosion control provided by another jurisdiction or professional association. During construction, the Responsible Person shall keep on site proof of professional licensing or of successful completion of a DOEE-approved training program. [21 DCMR § 547]

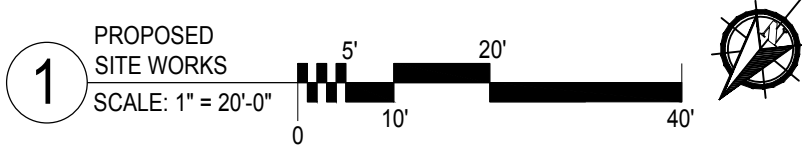
LEGEND

| | | | |
|--|---|--|--------------------|
| | PROPERTY LINE | | EXISTING STRUCTURE |
| | STRAW BALES & SILT FENCE | | PROPOSED ADDITION |
| | LIMITS OF DISTURBANCE | | |
| | EXISTING CONTOUR LINE | | |
| | ALTERED CONTOUR LINE | | |
| | NEW CONTOUR LINE | | |
| | DOWNSPOUT LOCATION & TIE INTO STORM WATER | | |

0002
 SEDIMENT AND EROSION PLAN
 4412 DOUGLAS ST. NE
 JOB #20-349
 DECEMBER 2020



| | | |
|--|--|--|
| PROPERTY INFORMATION: 4412 DOUGLAS ST. NE SQUARE - 5116 LOT - 0123 PROPERTY LAND AREA - 5,339 SF | | |
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| DISTURBED AREA: 120 SF VOLUME OF EXCAVATION: 85 CUBIC YARDS VOLUME OF FILL: 53 CUBIC YARDS | | REVISIONS: |
| SEDIMENT AND EROSION PLAN 0003 4412 DOUGLAS ST. NE JOB #20-349 DECEMBER 2020 | | CARBALLO ARCHITECTURE, LLC ADAM CARBALLO, ARCHITECT DC LIC# ARC102517 443-745-1100 CLIENT MR. PETER CHINLOY |



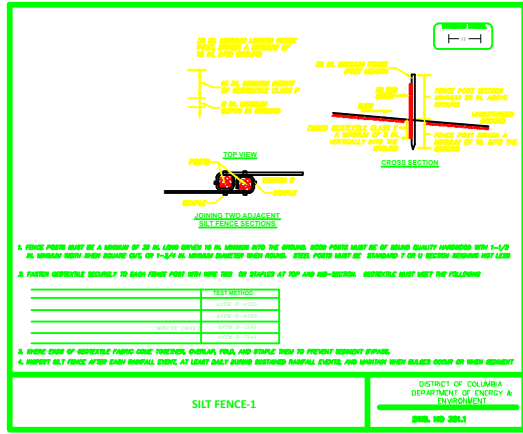
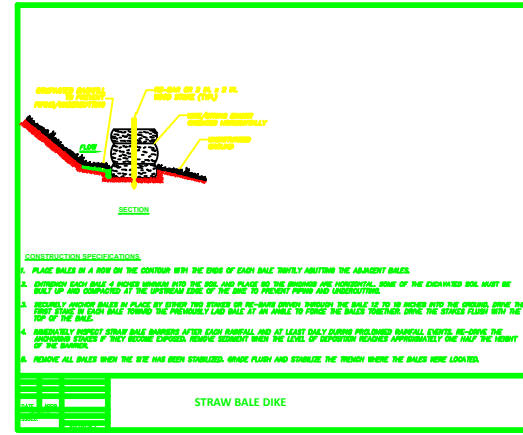
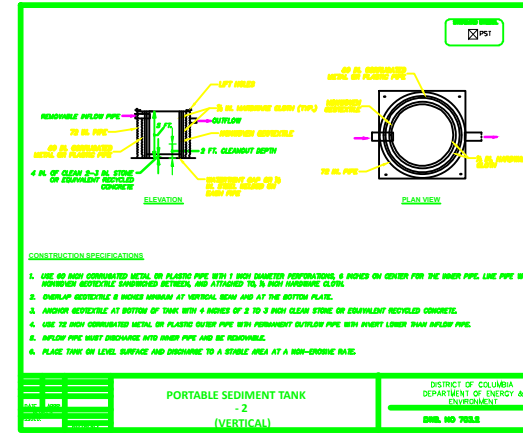
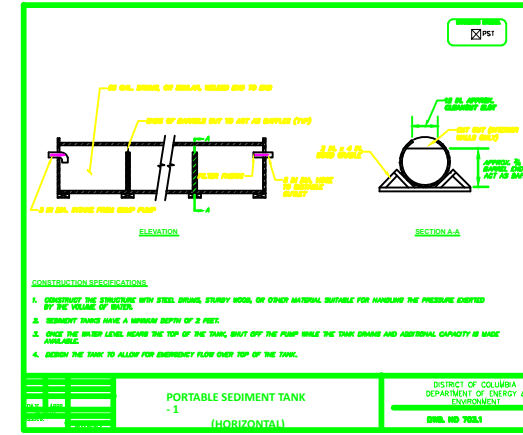
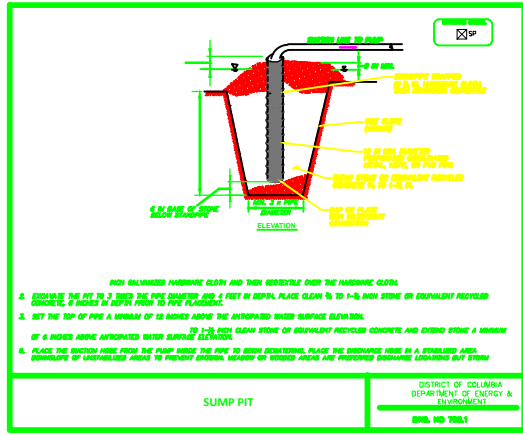
SEDIMENT AND EROSION CONTROL PLAN GENERAL NOTES

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- A copy of the approved plan set will be maintained at the construction site from the date that construction activities begin to the date of final stabilization and will be available for DOEE inspectors. [21 DCMR § 542.15]
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- Request a DOEE inspector's approval after the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. [21 DCMR § 542.12 (a)]
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- Post a sign that notifies the public to contact DOEE in the event of erosion or other pollution. The sign will be placed at each entrance to the site or as directed by the DOEE inspector. Each sign will be no less than 18 x 24 inches in size and made of materials that will withstand weather for the duration of the project. Lettering will be at least 1 inch in height and easily readable by the public from a distance of twelve feet (12 ft). The sign must direct the public, in substantially the following form: "To Report Erosion, Runoff, or Stormwater Pollution" and will provide the construction site address, DOEE's telephone number (202-535-2977), DOEE's e-mail address (EB.scheduling@dc.gov), and the 311 mobile app heading ("Construction-Erosion Runoff"). [21 DCMR § 543.22] If a site disturbs 5,000 square feet of land or greater, the ESC plan must contain the following statement:
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LEGEND

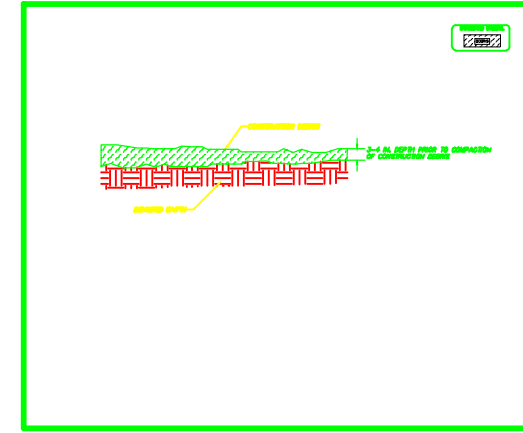
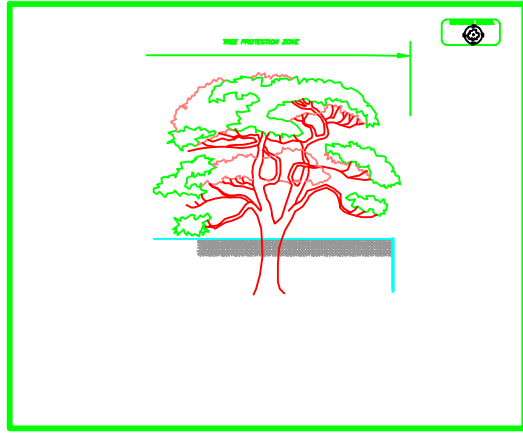
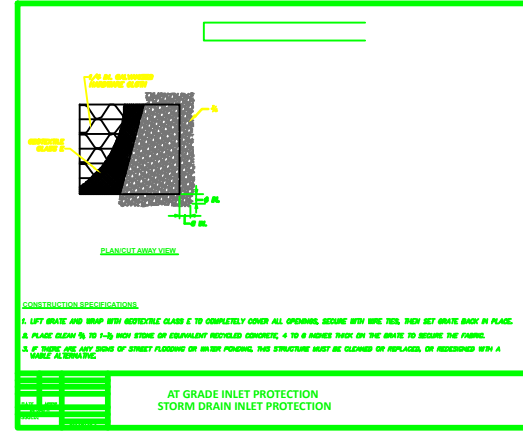
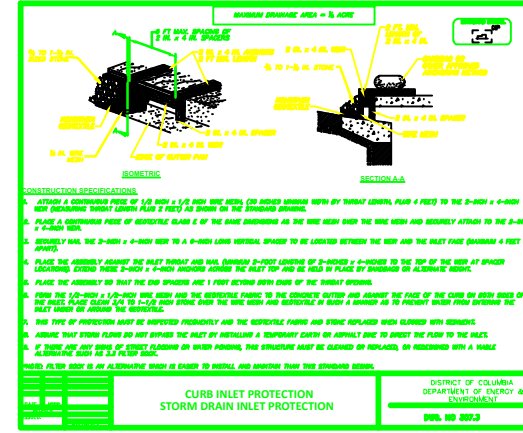
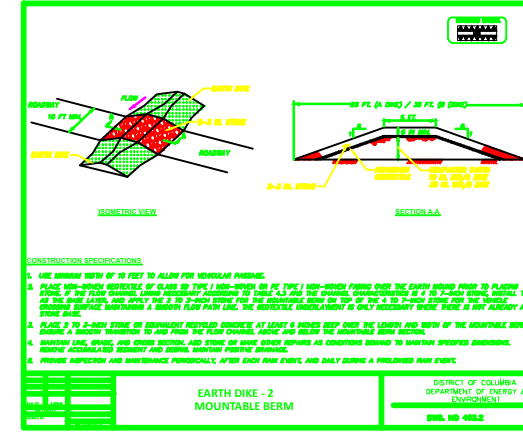
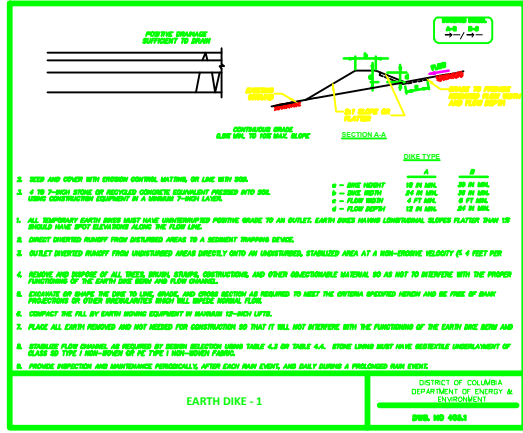
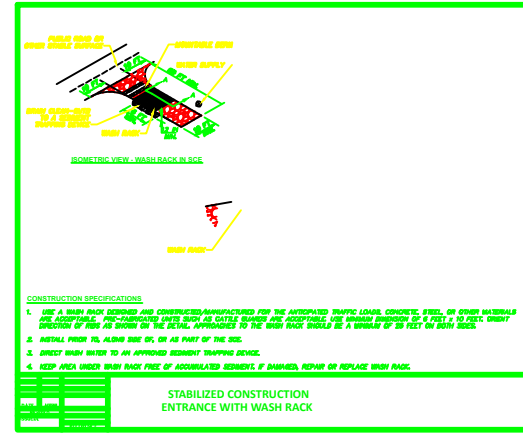
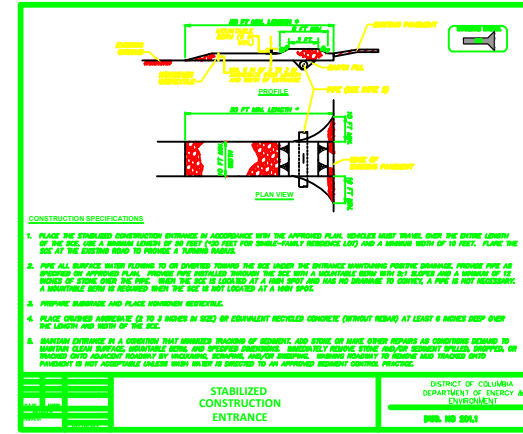
- PROPERTY LINE
- STRAW BALES & SILT FENCE
- LIMITS OF DISTURBANCE
- EXISTING CONTOUR LINE
- ALTERED CONTOUR LINE
- NEW CONTOUR LINE
- DOWNSPOUT LOCATION & TIE INTO STORM WATER
- EXISTING STRUCTURE
- PROPOSED ADDITION



SILT FENCE DESIGN CRITERIA

TABLE 1.1 SILT FENCE SLOPE LENGTH AND FENCE LENGTH CONSTRAINTS

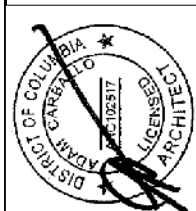
| SLOPE STEEPNESS | SLOPE LENGTH (MAXIMUM) (FEET) | UNGRADED | GRADED |
|-----------------------------|-------------------------------|----------|--------|
| > 60% TO 10% (20:1 TO 10:1) | 100 | 100 | 100 |
| > 10% TO 5% (10:1 TO 2:1) | 100 | 100 | 100 |
| > 5% TO 3% (3:1 TO 2:1) | 100 | 100 | 100 |
| > 3% TO 2% (3:1 TO 2:1) | 100 | 100 | 100 |
| > 2% TO 1% (2:1 TO 1:1) | 100 | 100 | 100 |



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DISTRICT OF COLUMBIA, LICENSE
NUMBER ARC102517, EXP. DATE
4/20/2022

CONTRACT DOCUMENTS HAVE BEEN
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FOR BOTH ARCHITECTURE & STRUCTURAL
DESIGN, DC LIC # ARC102517.

REVISIONS

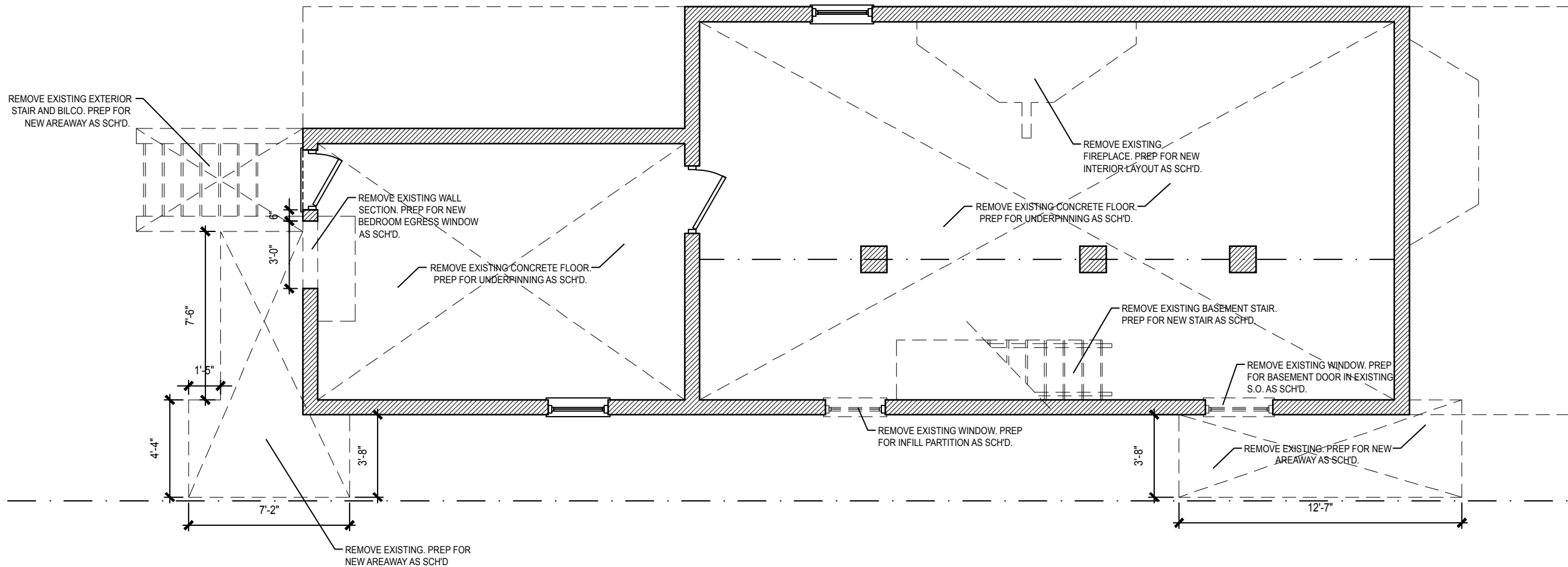


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ADAM CARBALLO, ARCHITECT
DC LIC # ARC102517
443-745-1100

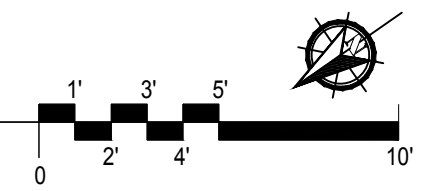
CLIENT
MR. PETER CHINLOY

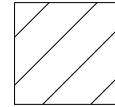


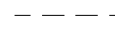
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DOEE DETAILS


4412 DOUGLAS ST. NE
JOB #20-349
DECEMBER 2020



C CELLAR DEMO PLAN
SCALE: 3/16" = 1'-0"




| LEGEND | GENERAL NOTES |
|---|--|
| <p> NOT IN SCOPE</p> <p> EXISTING PARTITION</p> <p> PROPOSED PARTITION</p> <p> DEMO PARTITION</p> | <p>- DO NOT SCALE DRAWINGS.</p> <p>- CONTRACTOR IS RESPONSIBLE FOR PULLING ALL PERMITS AND PAYING ANY ASSOCIATIVE FEES.</p> <p>- CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY THE DISTRICT OF COLUMBIA.</p> <p>- INTERIOR FINISHES ARE CLIENT'S CHOICE</p> <p>- INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE</p> <p>- DOOR TYPE SYMBOL 36" DENOTES DOOR WIDTH, DOOR STYLE CLIENT'S CHOICE. ALL DOORS ARE 6'-8" IN HEIGHT.</p> |



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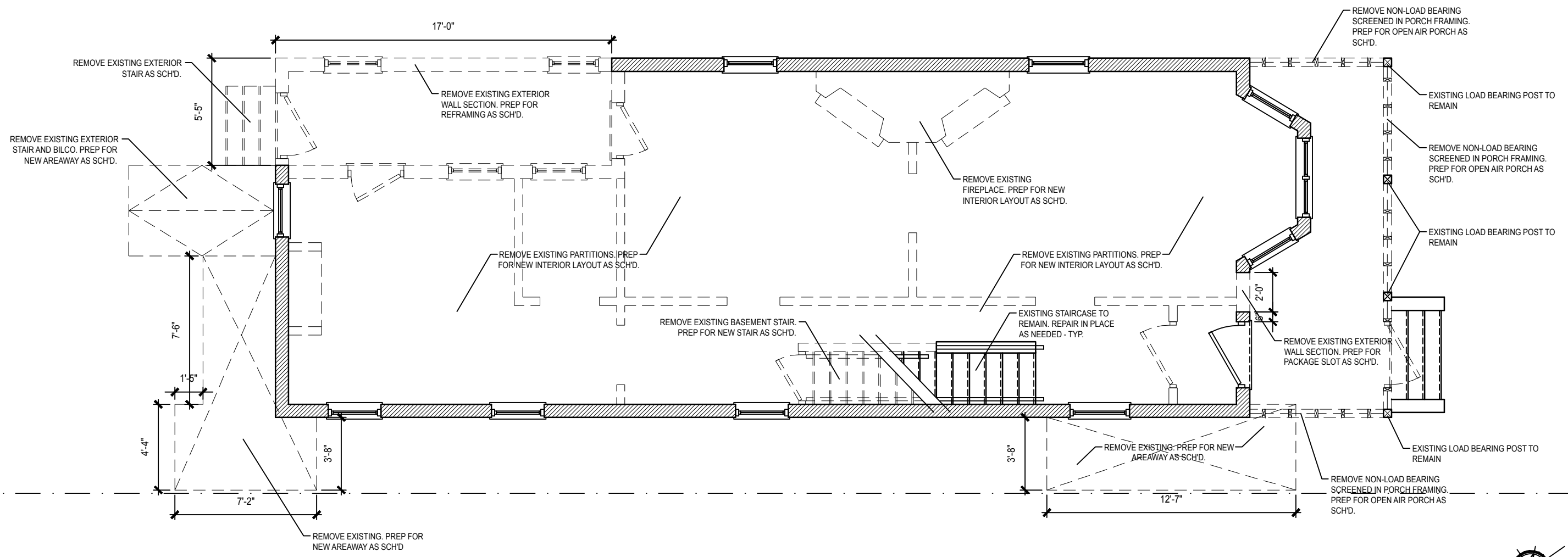


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ADAM CARBALLO, ARCHITECT
DC LIC# ARC102517
443-963-1077

CLIENT
MR. PETER CHINLOY

AD001
CELLAR DEMO PLAN

4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020



1 FIRST FLOOR DEMO PLAN
 SCALE: 3/16" = 1'-0"

LEGEND

- NOT IN SCOPE
- EXISTING PARTITION
- PROPOSED PARTITION
- DEMO PARTITION

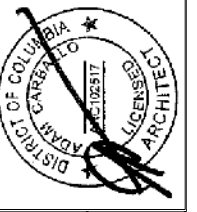
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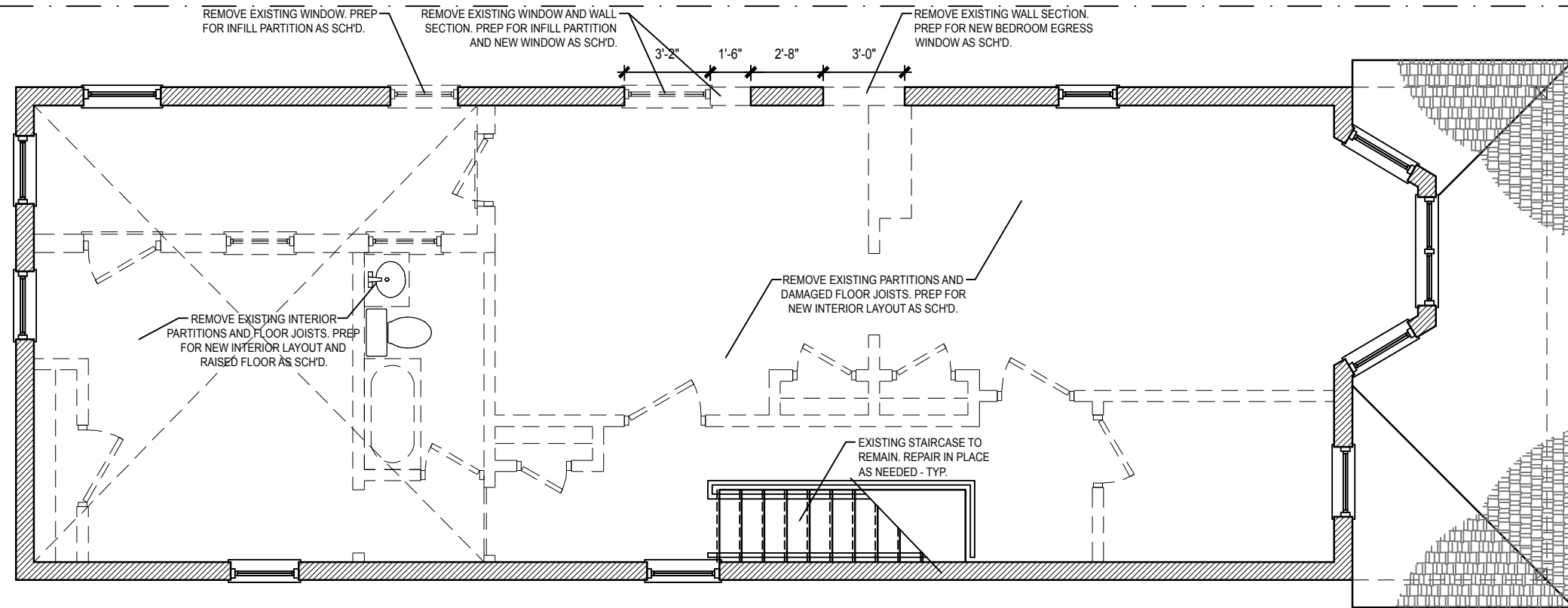
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 DC LIC# ARC102517
 443-963-1077
 CLIENT
 MR. PETER CHINLOY

AD002
 FIRST FLOOR DEMO PLAN
 4412 DOUGLAS ST. NE
 JOB # 20-349
 DECEMBER 2020



2 SECOND FLOOR DEMO PLAN
 SCALE: 3/16" = 1'-0"

LEGEND

- NOT IN SCOPE
- EXISTING PARTITION
- PROPOSED PARTITION
- DEMO PARTITION

GENERAL NOTES

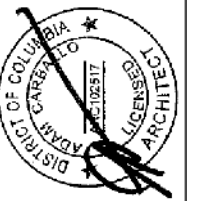
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 DC LIC# ARC102517
 443-963-1077

CLIENT
 MR. PETER CHINLOY

AD003
 SECOND FLOOR DEMO PLAN

4412 DOUGLAS ST. NE
 JOB # 20-349
 DECEMBER 2020

8
A011

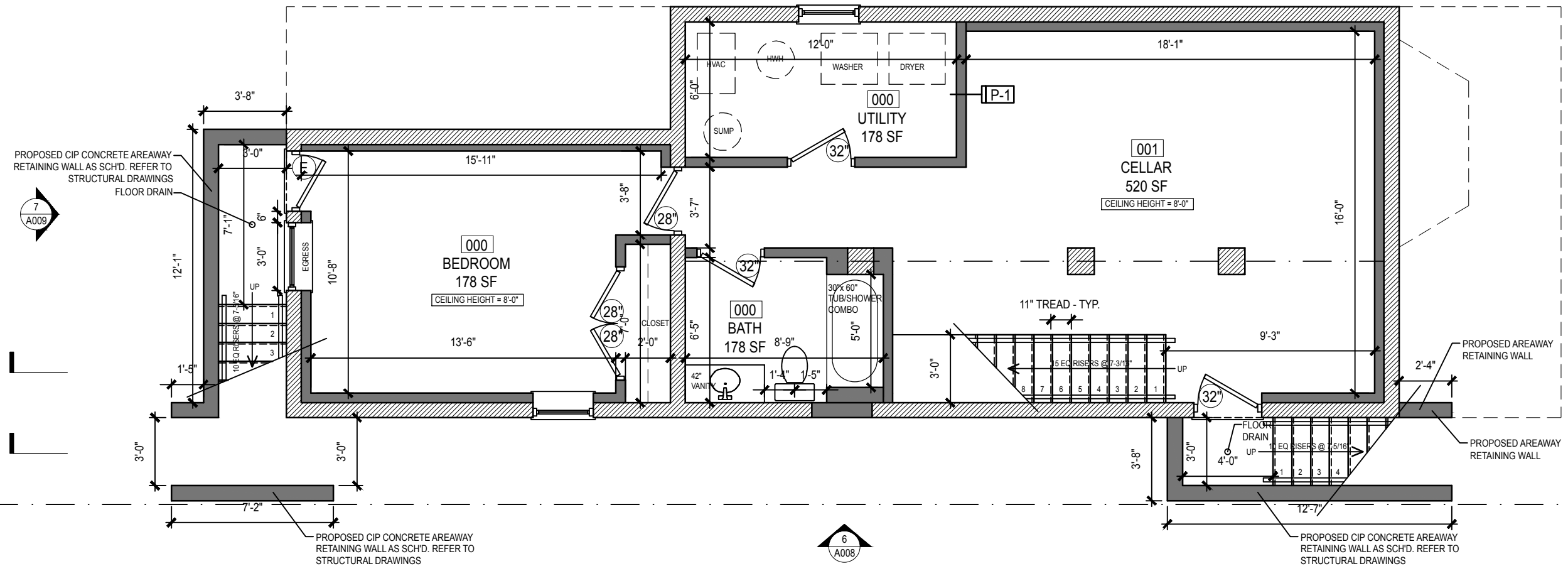
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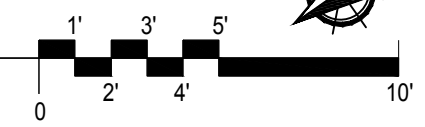
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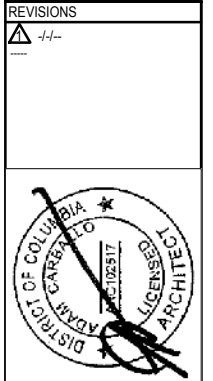


C CELLAR PLAN
SCALE: 3/16" = 1'-0"



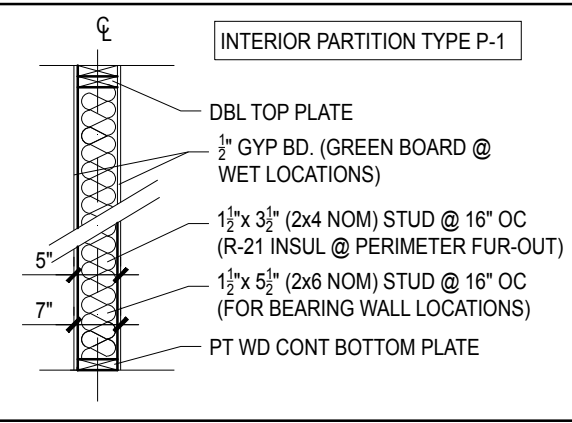
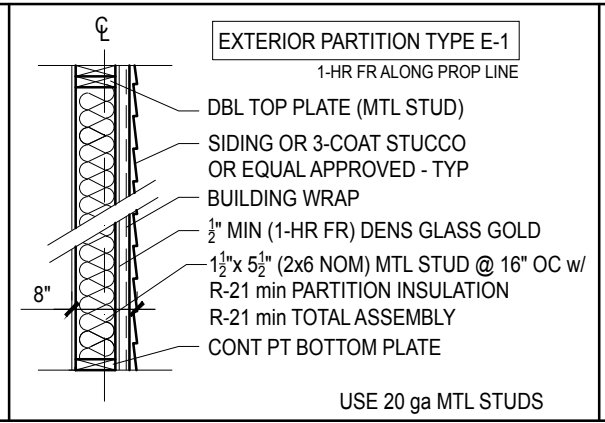
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ADAM CARBALLO, ARCHITECT
DC LIC# ARC102517
443-963-1077

CLIENT
MR. PETER CHINLOY



LEGEND

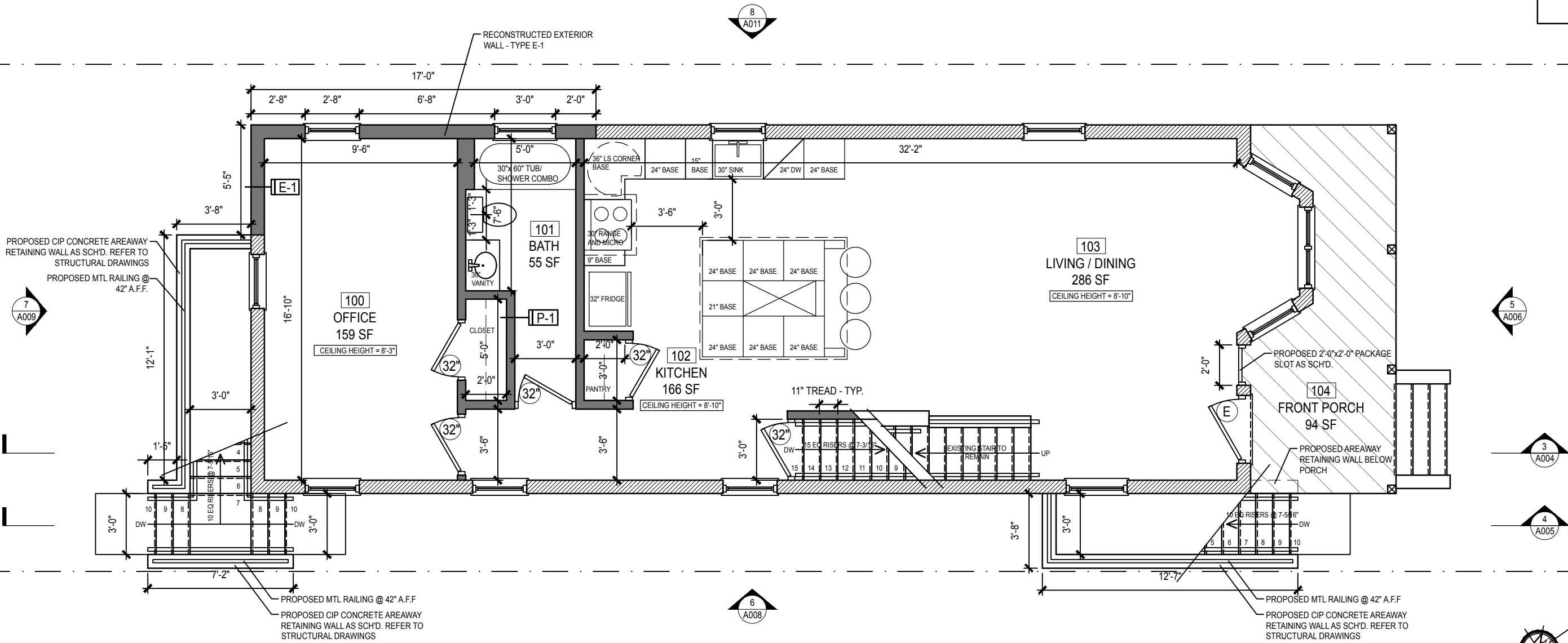
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| | NOT IN SCOPE |
| | EXISTING PARTITION |
| | PROPOSED PARTITION |
| | DEMO PARTITION |

GENERAL NOTES

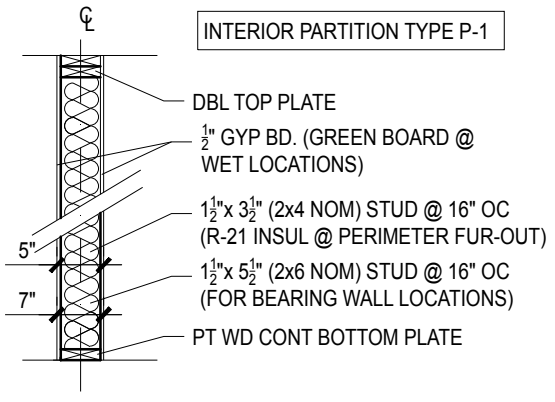
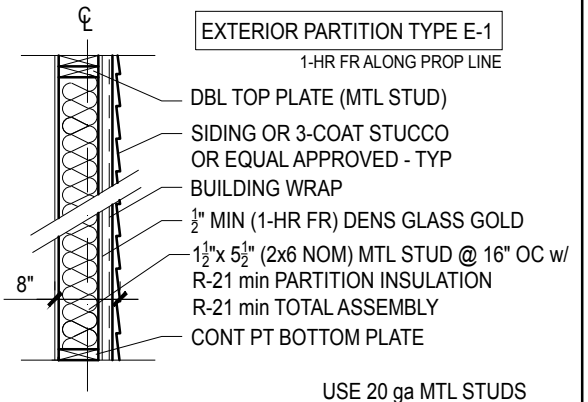
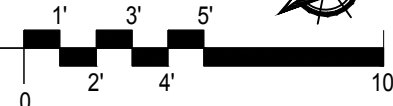
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A001
CELLAR PLAN

4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



| LEGEND | |
|--------|--------------------|
| | NOT IN SCOPE |
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| | PROPOSED PARTITION |
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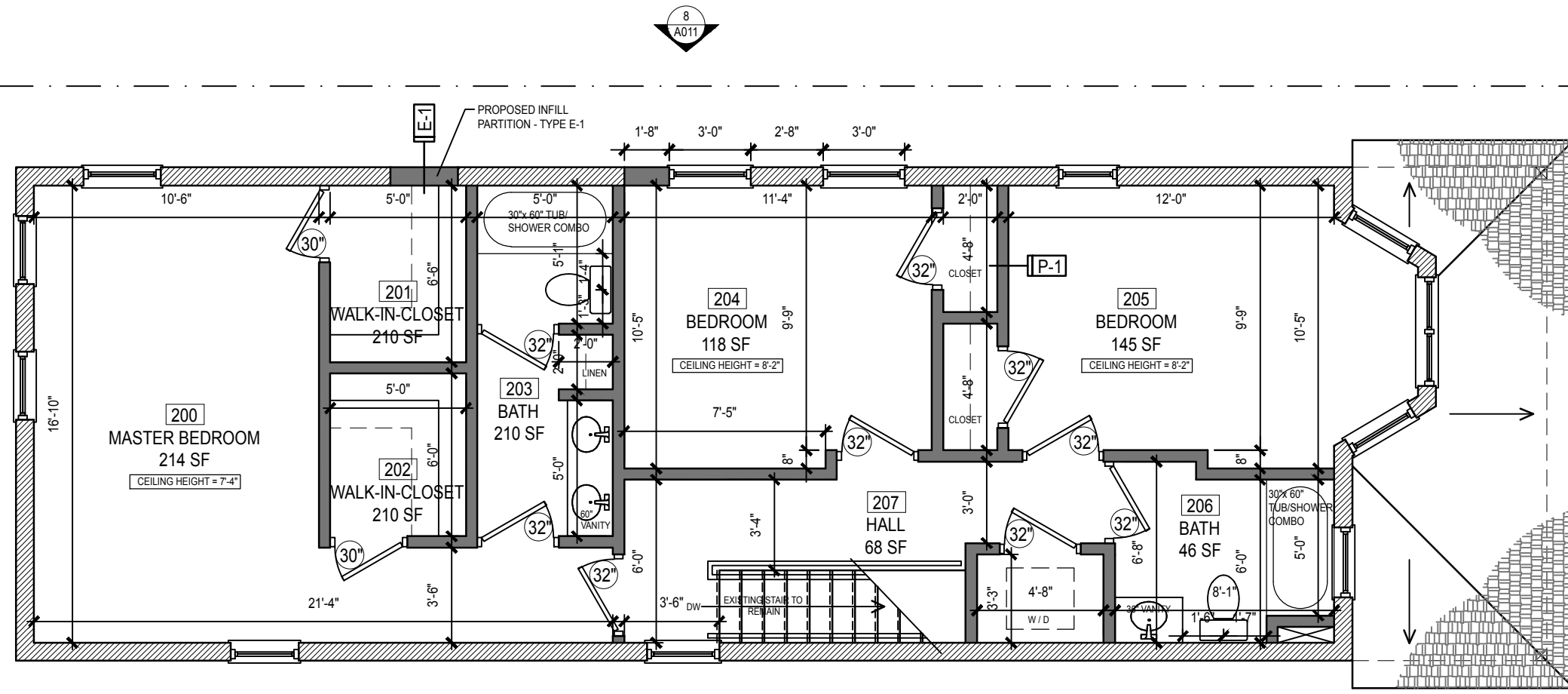
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DISTRICT OF COLUMBIA ARCHITECTS & ARCHITECTS
ADAM CARBALLO, ARCHITECT
DC LIC# ARC102517

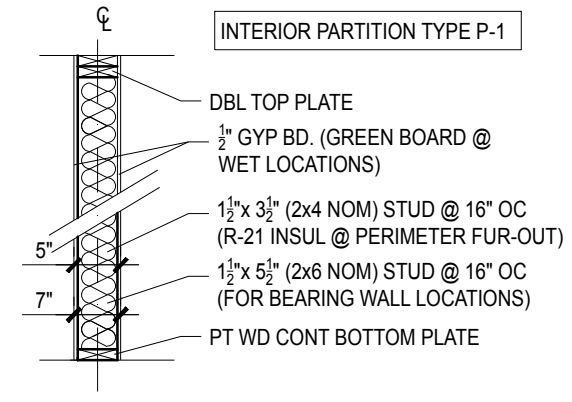
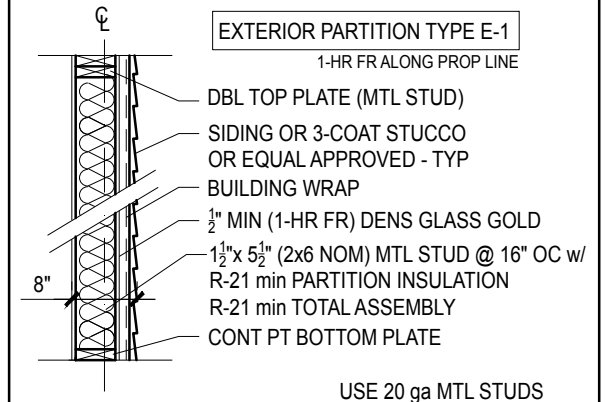
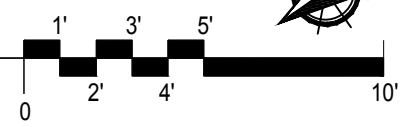
CARBALLO ARCHITECTURE, LLC
ADAM CARBALLO, ARCHITECT
DC LIC# ARC102517
443-963-1077

CLIENT
MR. PETER CHINLOY

A002
FIRST FLOOR PLAN
4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020



2 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



LEGEND

| | |
|--|--------------------|
| | NOT IN SCOPE |
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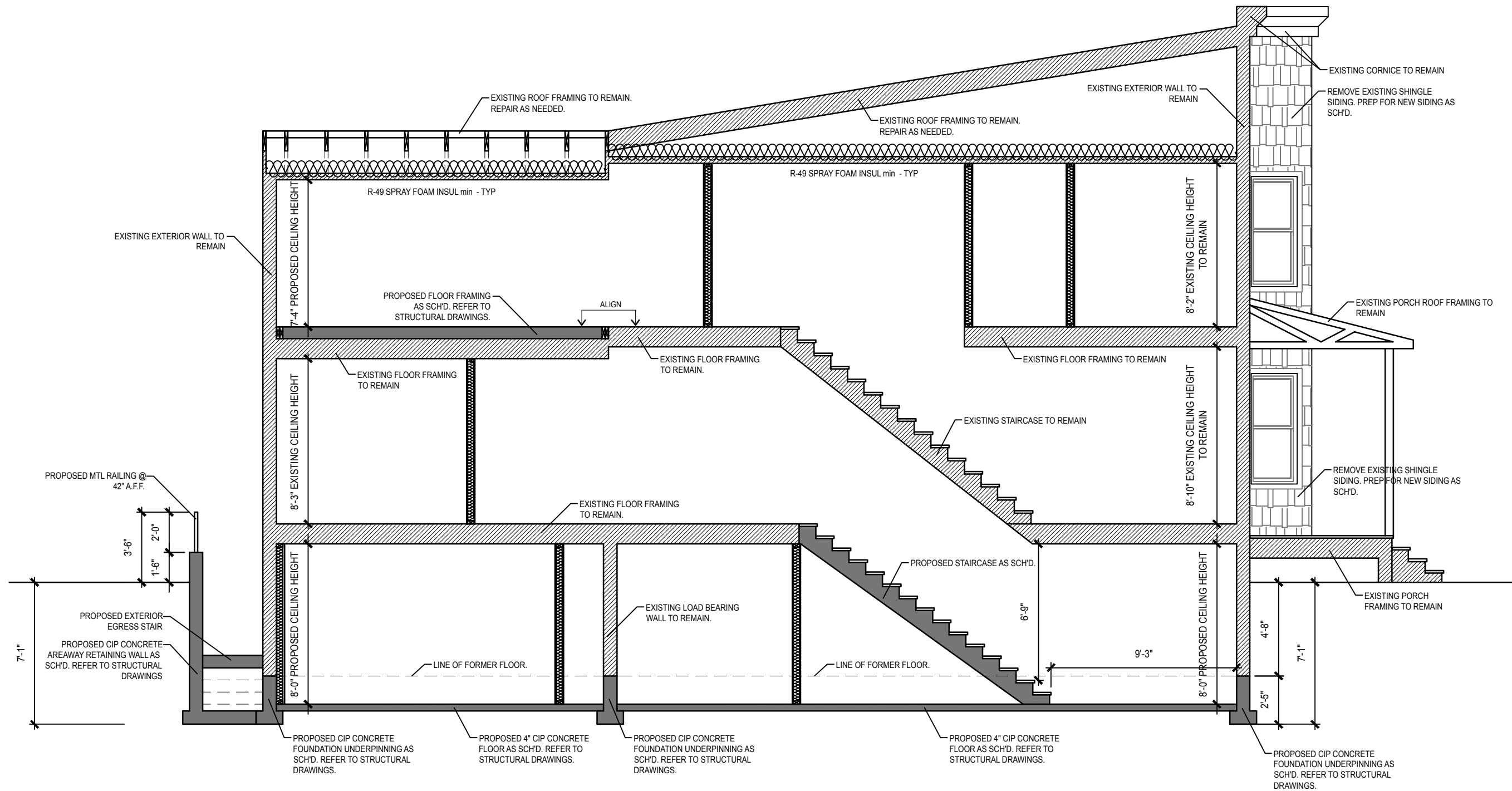
REVISIONS
1 +/-

DISTRICT OF COLUMBIA ARCHITECTS' LICENSE
ADAM CARBALLO
DC LIC # ARC 102517

CARBALLO ARCHITECTURE, LLC
ADAM CARBALLO, ARCHITECT
DC LIC # ARC 102517
443-963-1077

CLIENT
MR. PETER CHINLOY

A003
SECOND FLOOR PLAN
4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020

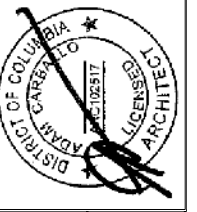


3 PROPOSED BUILDING SECTION
 SCALE: 3/16" = 1'-0"
 0 1' 2' 3' 4' 5' 10'



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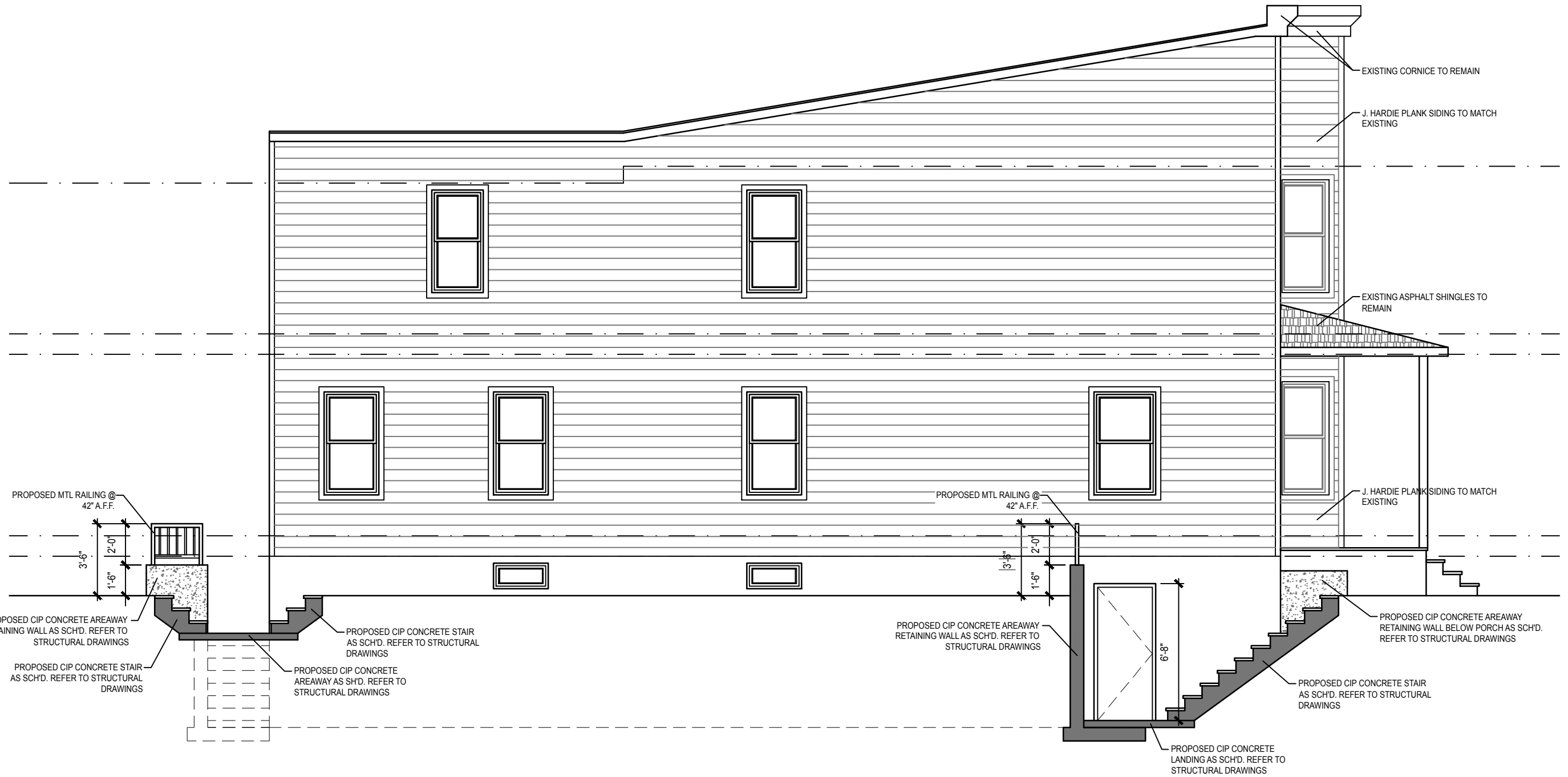
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CLIENT
 MR. PETER CHINLOY

A004
 PROPOSED BUILDING SECTION
 4412 DOUGLAS ST. NE
 JOB # 20-349
 DECEMBER 2020



EXISTING CORNICE TO REMAIN
 J. HARDIE PLANK SIDING TO MATCH EXISTING

EXISTING ASPHALT SHINGLES TO REMAIN

J. HARDIE PLANK SIDING TO MATCH EXISTING

PROPOSED MTL RAILING @ 42" A.F.F.

PROPOSED MTL RAILING @ 42" A.F.F.

PROPOSED CIP CONCRETE AREAWAY RETAINING WALL AS SCH'D. REFER TO STRUCTURAL DRAWINGS

PROPOSED CIP CONCRETE STAIR AS SCH'D. REFER TO STRUCTURAL DRAWINGS

PROPOSED CIP CONCRETE AREAWAY RETAINING WALL AS SCH'D. REFER TO STRUCTURAL DRAWINGS

PROPOSED CIP CONCRETE AREAWAY RETAINING WALL BELOW PORCH AS SCH'D. REFER TO STRUCTURAL DRAWINGS

PROPOSED CIP CONCRETE STAIR AS SCH'D. REFER TO STRUCTURAL DRAWINGS

PROPOSED CIP CONCRETE AREAWAY AS SH'D. REFER TO STRUCTURAL DRAWINGS

PROPOSED CIP CONCRETE STAIR AS SCH'D. REFER TO STRUCTURAL DRAWINGS

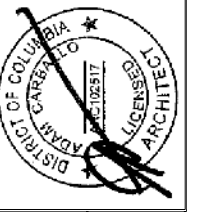
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4 PROPOSED AREAWAY SECTION
 SCALE: 3/16" = 1'-0"



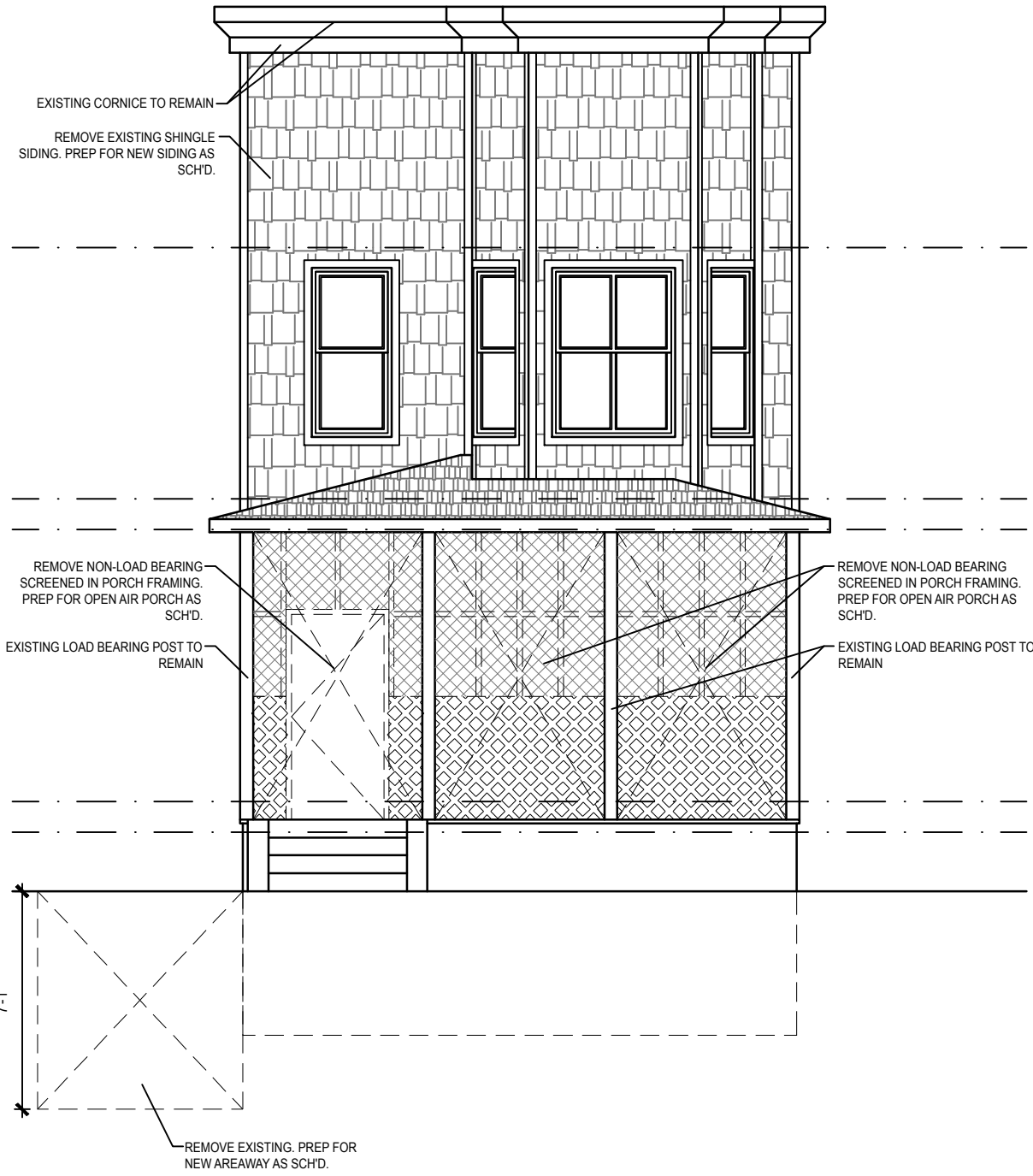
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 1 -1-

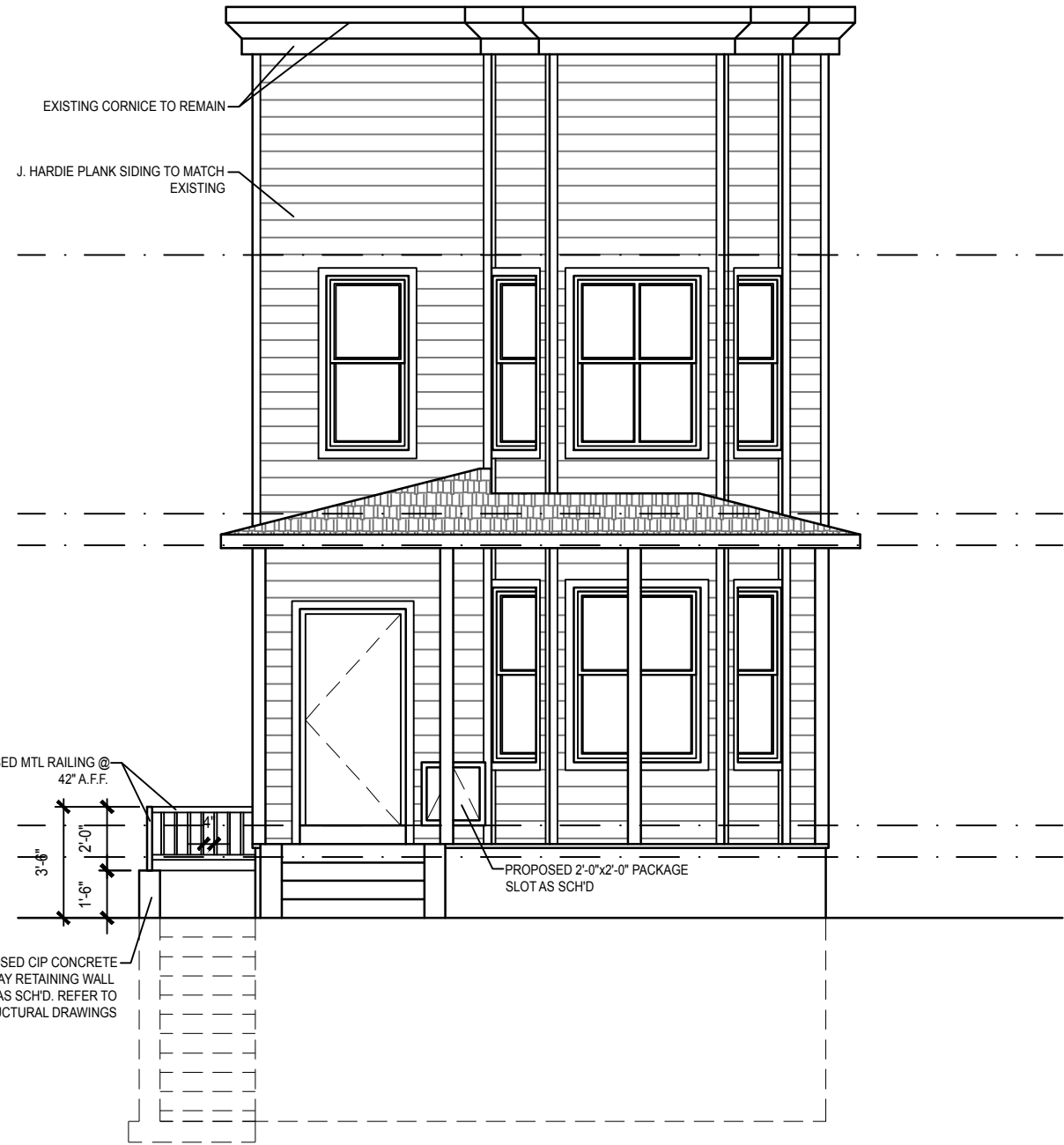


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 443-963-1077
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 MR. PETER CHINLOY

A005
 PROPOSED AREAWAY SECTION
 4412 DOUGLAS ST. NE
 JOB # 20-349
 DECEMBER 2020



5 EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"

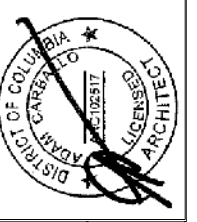


5 PROPOSED FRONT ELEVATION
SCALE: 3/16" = 1'-0"



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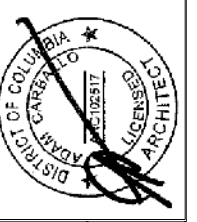
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ADAM CARBALLO, ARCHITECT
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443-963-1077
CLIENT
MR. PETER CHINLOY

A006
FRONT ELEVATIONS
4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020



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 443-963-1077
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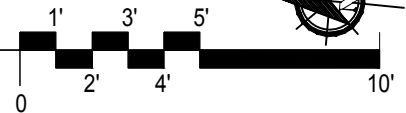
A007
 EXISTING SIDE ELEVATION
 4412 DOUGLAS ST. NE
 JOB # 20-349
 DECEMBER 2020

6 EXISTING SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



6

PROPOSED SIDE ELEVATION
SCALE: 3/16" = 1'-0"



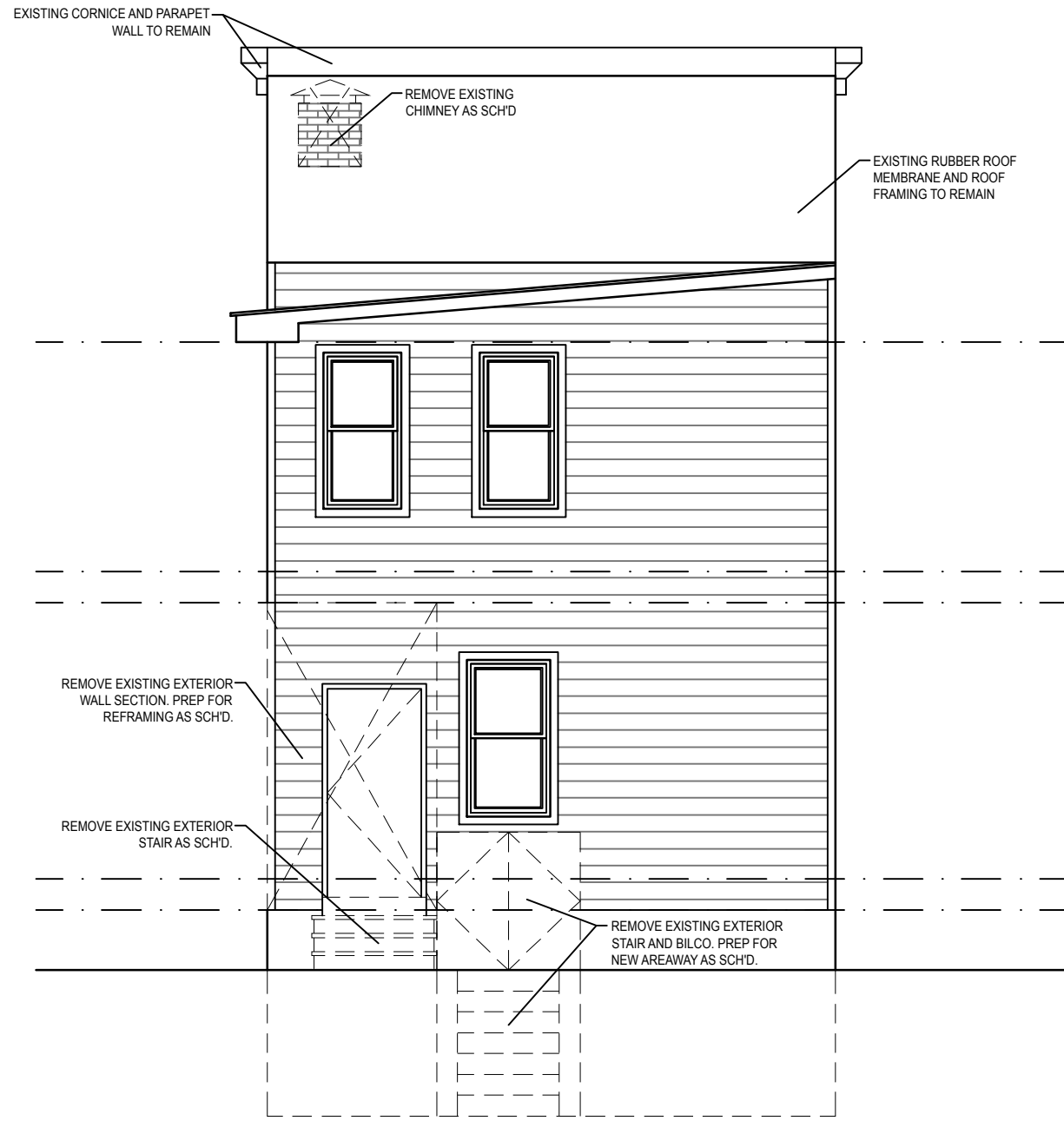
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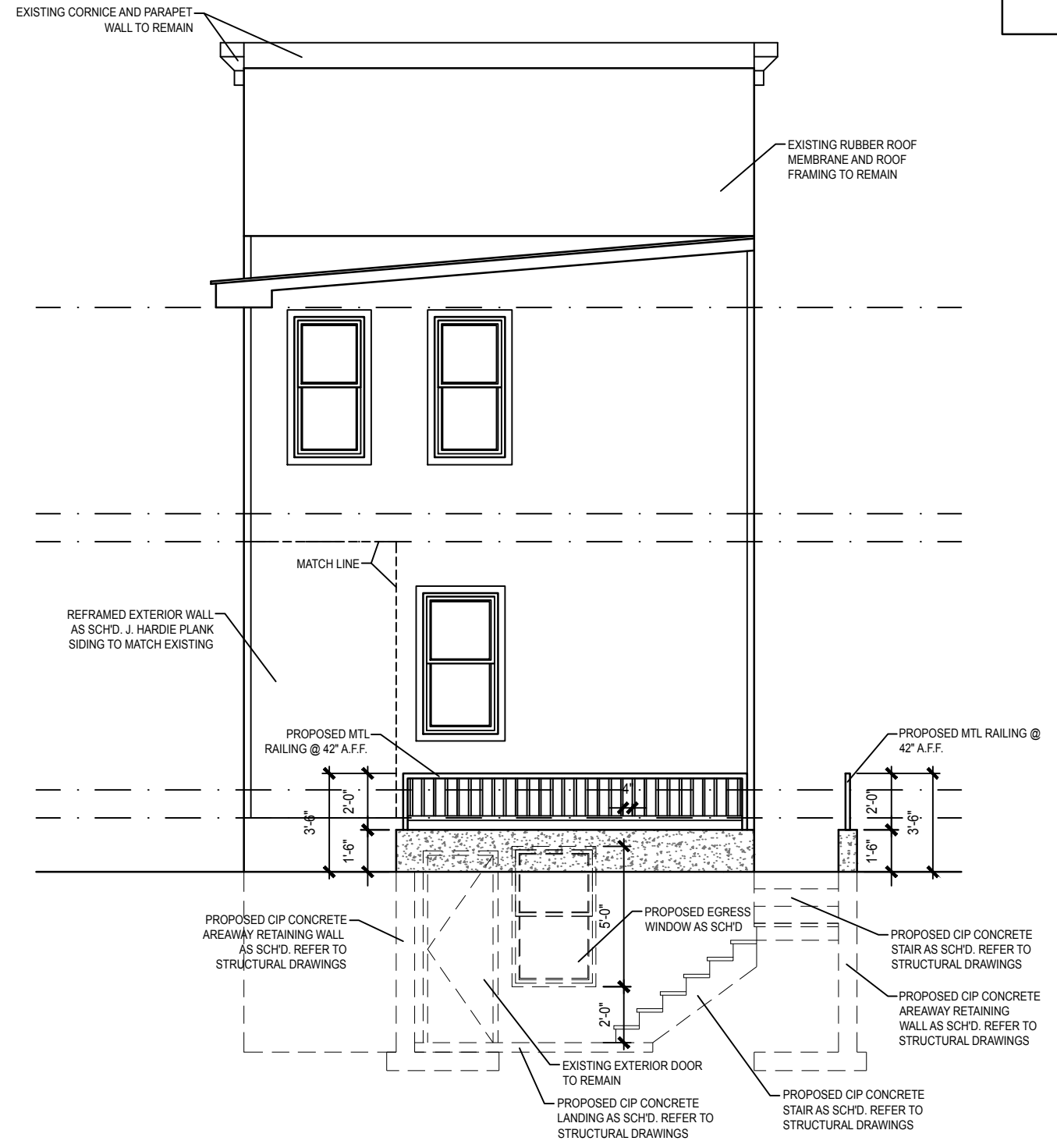


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A008
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4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020



7 EXISTING REAR ELEVATION
SCALE: 3/16" = 1'-0"



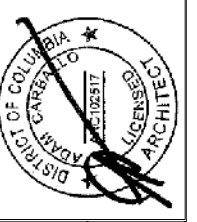
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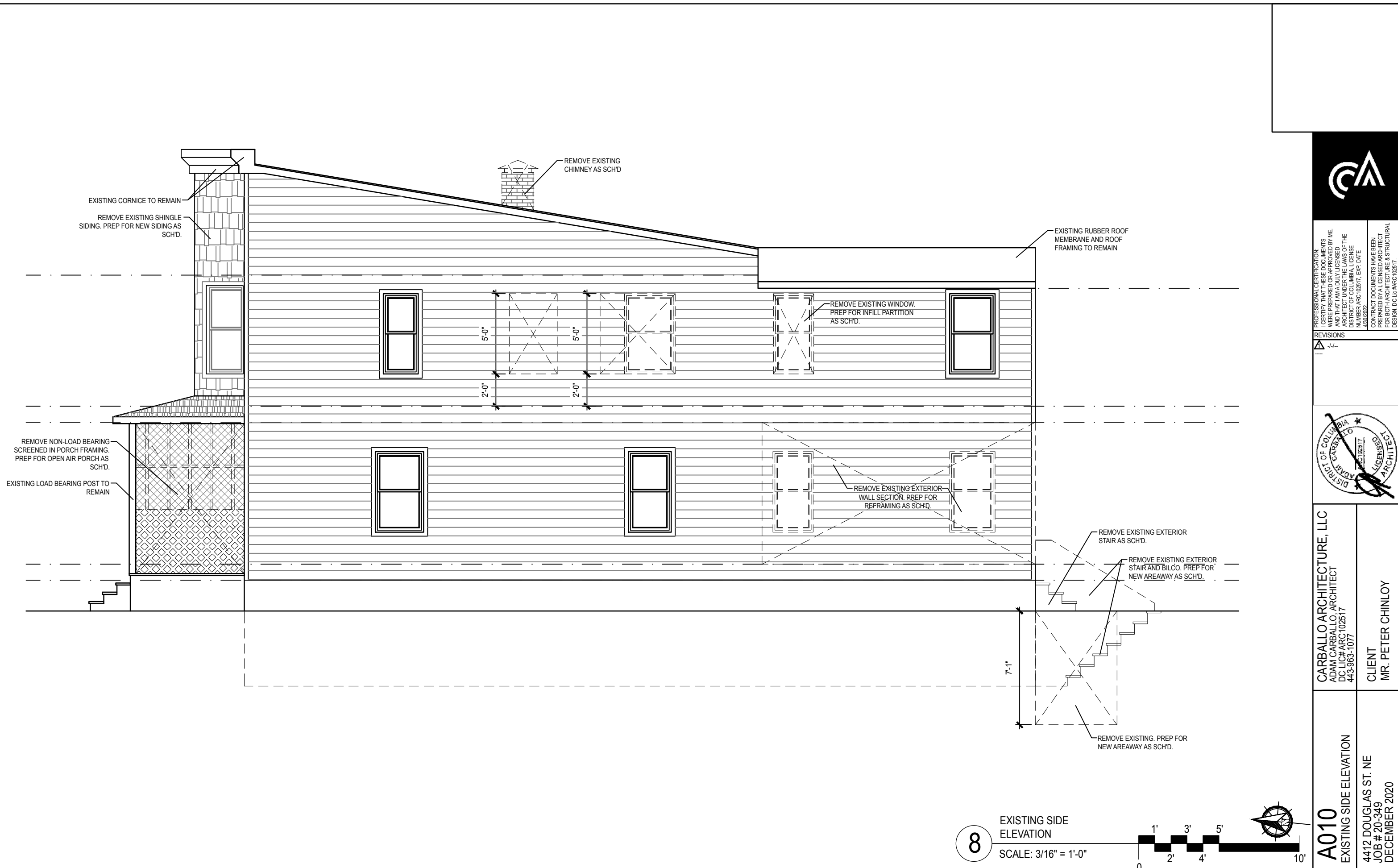
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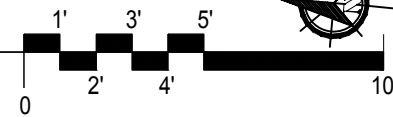
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A009
REAR ELEVATIONS
4412 DOUGLAS ST. NE
JOB # 20-349
DECEMBER 2020



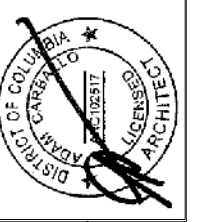
8

EXISTING SIDE ELEVATION
SCALE: 3/16" = 1'-0"



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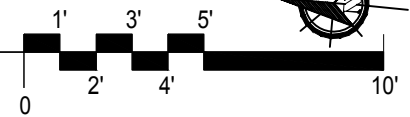
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A010
EXISTING SIDE ELEVATION
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JOB # 20-349
DECEMBER 2020



8

PROPOSED SIDE ELEVATION
SCALE: 3/16" = 1'-0"



A011

PROPOSED SIDE ELEVATION
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