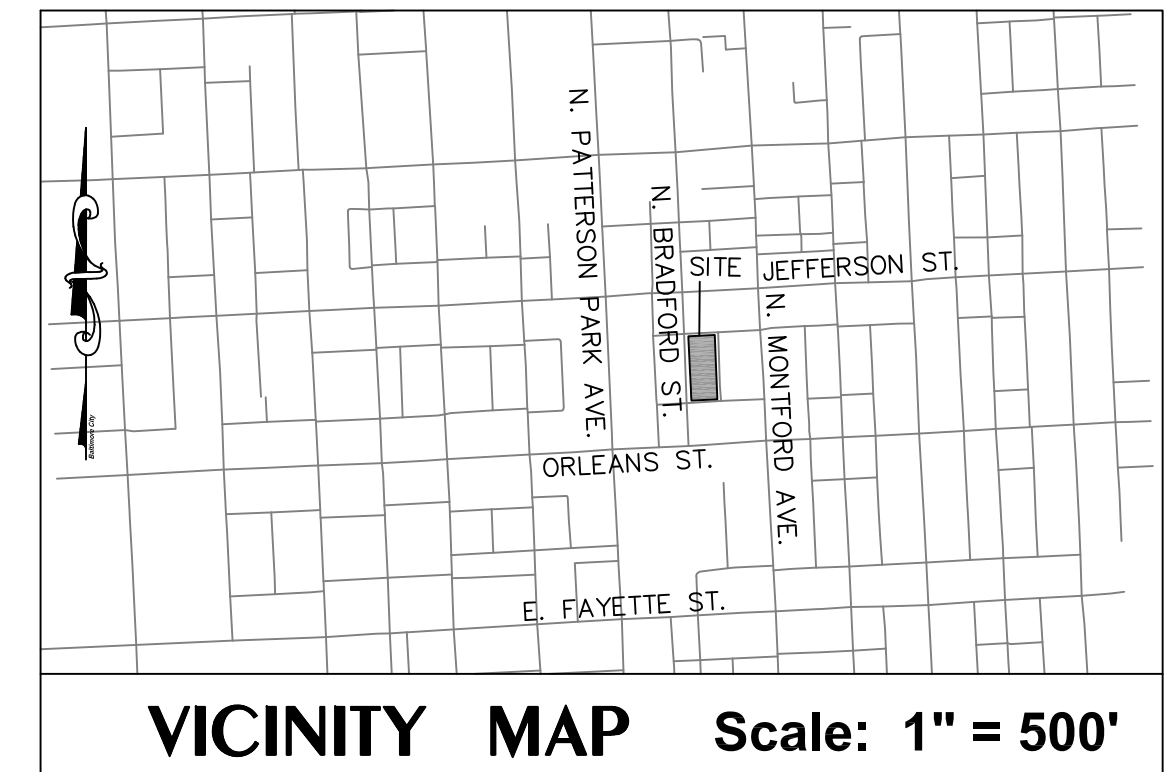


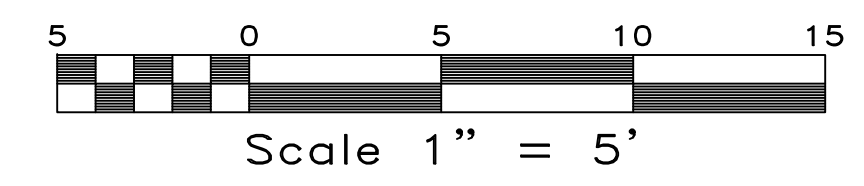
LEGEND

- LOD --- LIMIT OF DISTURBANCE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY
- PROPERTY RIGHT-OF-WAY
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. GAS
- EX. ELECTRIC CONDUIT
- EX. OVERHEAD WIRES
- EX. CONTOURS (2')
- EX. UTILITY POLE
- EX. TRAFFIC DIRECTION
- EX. PAVING
- EX. ZONING
- EX. CONTOUR
- PR. CONTOUR
- PR. BUILDING
- PR. CONC. WALK
- PR. MILL & OVERLAY
- PR. ALLEY REPLACEMENT OR CONC. PAD
- PR. SEWER HOUSE CONNECTION
- PR. WATER HOUSE CONNECTION AND METER
- PR. CURB & GUTTER
- PR. REVERSE CURB & GUTTER



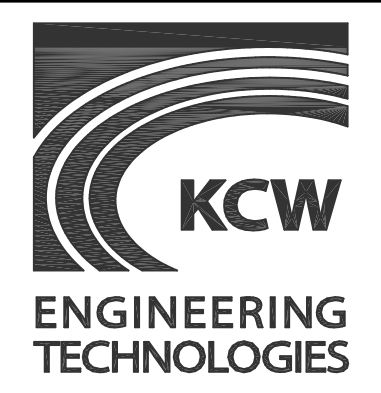
- ### PROJECT DATA
- OWNER:** EIST LLC
1308A TALBERT CT SE
WASHINGTON, DC 20020
 - DEVELOPER:** EUSTILUS LLC
2800 N. ROSSER ST
ALEXANDRIA, VA 22311
Attn: ERIC TERAN
Tele: 202-569-9620 Email: ETERAN@EUSTILUS.COM
 - PROPERTY LOCATION:** Ward 06, Section 03, Block 1671, Lot 082
 - PROPERTY:** 401-411 N. BRADFORD ST.
 - DEED:** L. 21928 F. 0214
 - AREA:** 4,968 sf = 0.114 ac.±
 - ZONING:** R-8
 - COUNCIL DISTRICT:** 13
 - NEIGHBORHOOD:** McElderry Park
 - AREA MASTER PLAN:** Monument - McElderry - Fayette
 - URBAN RENEWAL:** Middle East
 - HISTORIC DISTRICT:** None
 - PLANNING DISTRICT:** East
 - EXISTING LAND USE:** Vacant lot with wood fence to be demolished.
 - PROPOSED LAND USE:** Construction of 6 new residential rowhouses and parking pads. Rowhouse is a permitted use in the R-8 zoning district.
 - BUILDING SETBACKS:**

	Min. Req.	Proposed
Front:	None	3.6'
Interior Side:	None	0'
Street Corner Side:	None	0'
Rear:	20'	20'
 - MINIMUM LOT AREA:** Min. Lot Area Required = 750 sf < Provided Lot Area = 780 sf
 - MAX. BUILDING HEIGHT:** 35' max. Prop. 2-story Rowhouse H < 35'
 - MAX. LOT COVERAGE:** 80% max. Prop. Rowhouse < 80%
 - MAX. IMPERVIOUS SURFACE:** 65% max. Rear Yard < 100%. Variance to be requested from BMZA.
 - ENVIRONMENTAL CONSTRAINTS:** Project is not within Chesapeake Bay critical area. No floodplains or wetlands exist on-site. There are no known underground storage tanks or hazardous materials in the area of the site.
 - FOREST CONSERVATION and LANDSCAPING:** Disturbed Area < 20,000 sf, therefore the site is not subject to Forest Conservation requirements. Landscaping shall be provided in accordance with Baltimore City Landscape Manual.
 - EROSION AND SEDIMENT CONTROL:** ESC shall be provided in accordance with Baltimore City regulations using 2011 Standards for Soil Erosion and Sediment Control during construction.
 - SITE ACCESS:** Pedestrian access will be from the public right-of-way of North Bradford Street.
 - ZONING ACTIONS REQUIRED FROM BMZA:**
 - Variance for maximum impervious surface of 100% in lieu of the required 65%.
 - STORMWATER MANAGEMENT:** Stormwater management shall be provided in accordance with current Baltimore City stormwater management ordinance. The project's stormwater management approach utilizes environmental site design (ESD) to the maximum extent practicable (MEP). It is expected to meet the required ESD volume by providing a fee-in-lieu. The existing site has previously been developed and has greater than 40% existing impervious area and thus qualifies as redevelopment. For projects considered redevelopment, channel protection and recharge requirements are waived. Management of the 10-year and 100-year storm events will be analyzed based pre- and post-construction stormwater runoff. It is anticipated that there will be no change in stormwater runoff; therefore it is not anticipated that additional facilities providing quantity control will be required.



SITE PLAN SCALE: 1"=10'

SITE PLAN



KCW Engineering Technologies, Inc.
808 Landmark Drive, Suite 217
Glen Burnie, MD 21061
Phone: 410.768.7700
Fax: 410.768.0200
www.kcw-et.com

OWNER:
EIST LLC
1308A TALBERT CT SE
WASHINGTON, DC 20020

DEVELOPER:
EUSTILUS LLC
2800 N. ROSSER ST
ALEXANDRIA, VA 22311
ATTN: ERIC TERAN
TELE: 202-569-9620
EMAIL: ETERAN@EUSTILUS.COM

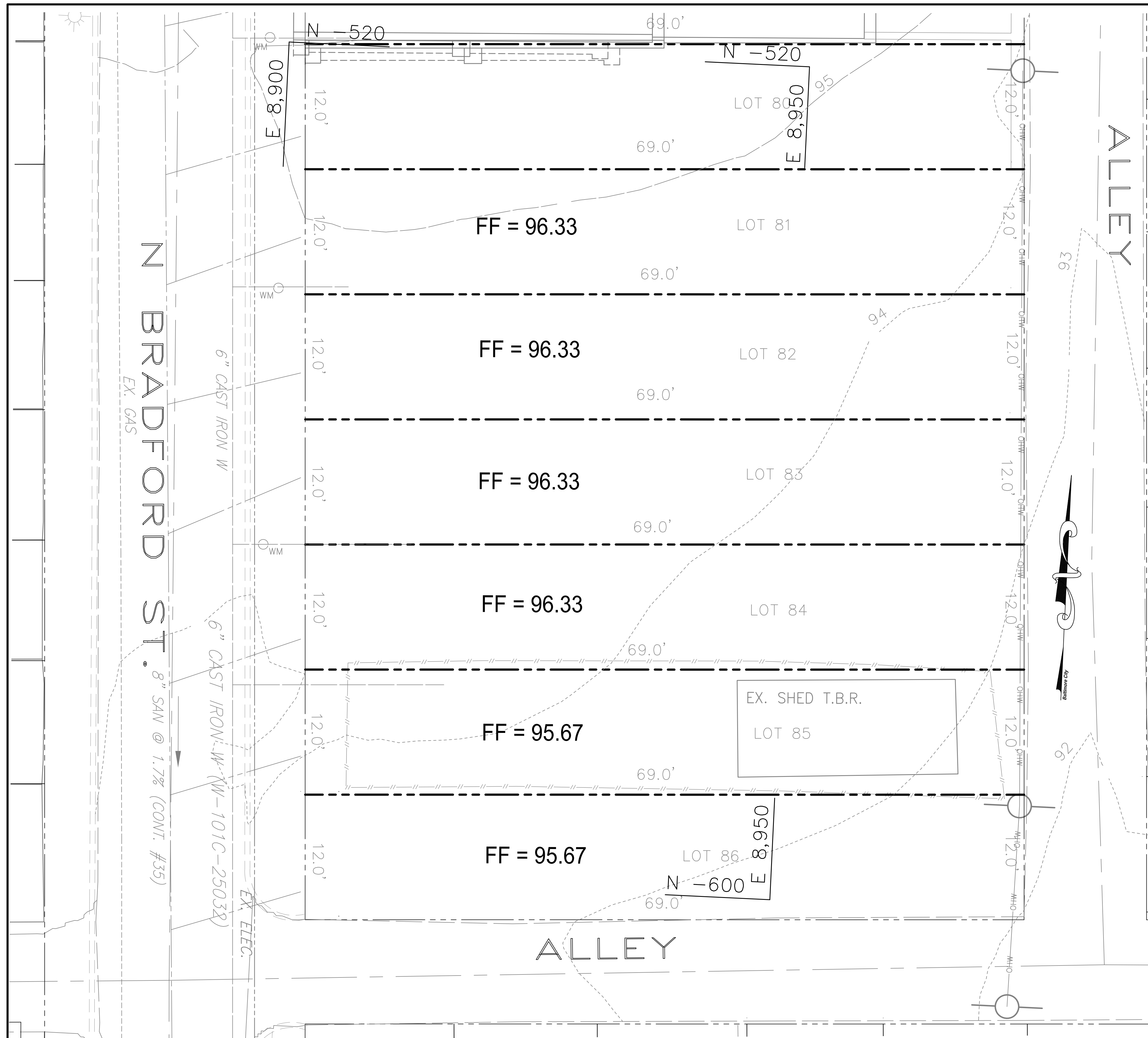
REVISIONS	
DATE	DESCRIPTION

KCW J.O.: 2201148
SCALE: AS SHOWN
DESIGNED: LAG
DRAWN: KCW
CHECKED: KMA
DATE: NOVEMBER 24, 2021
DWG NO.: **C-101**

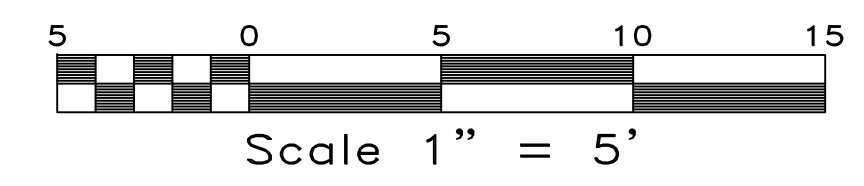
BRADFORD PROPERTIES

400 - 411 BRADFORD ST.
Ward 06 Section 03 Block 1671 Lots 081-086

CITY OF BALTIMORE, MARYLAND



LEGEND	
--- LOD ---	LIMIT OF DISTURBANCE
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	RIGHT-OF-WAY
---	PROPERTY RIGHT-OF-WAY
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. GAS
---	EX. ELECTRIC CONDUIT
---	EX. OVERHEAD WIRES
---	EX. FENCE TO BE REMOVED
---	EX. STRUCTURE
---	EX. CONTOURS (2')
---	EX. UTILITY POLE
---	EX. LIGHT
---	EX. TRAFFIC DIRECTION
---	EX. PAVING
---	EX. ZONING
---	EX. CONTOUR



EXISTING CONDITIONS PLAN SCALE: 1"=5'

EXISTING CONDITIONS PLAN

BRADFORD PROPERTIES

400 - 411 BRADFORD ST.
Ward 06 Section 03 Block 1671 Lots 081-086

CITY OF BALTIMORE, MARYLAND

KCW
ENGINEERING TECHNOLOGIES

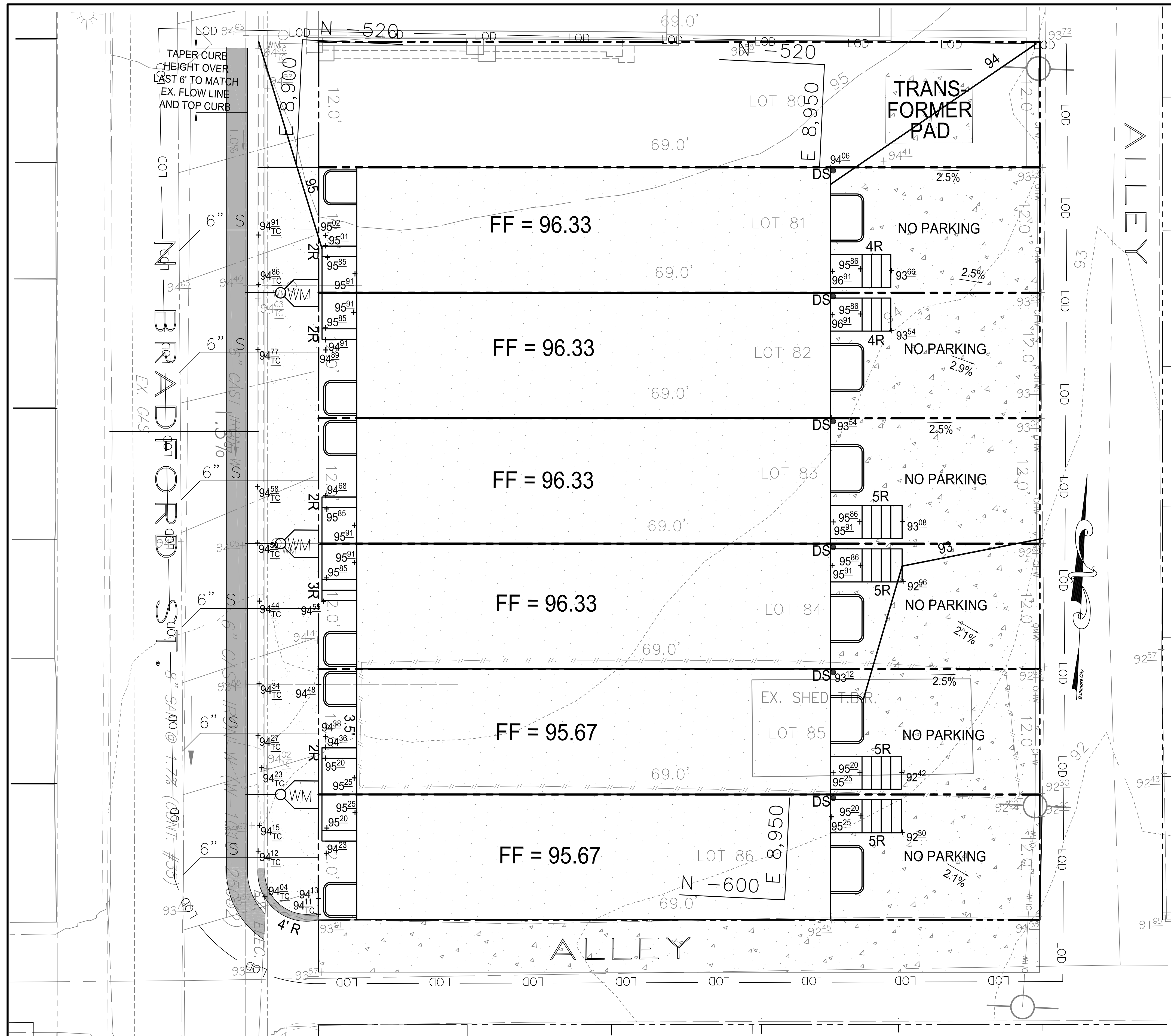
KCW Engineering Technologies, Inc.
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WASHINGTON, DC 20020

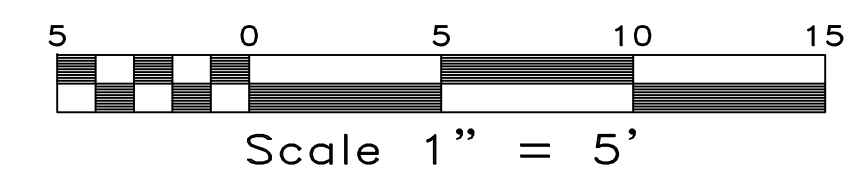
DEVELOPER:
EUSTILUS LLC
2800 N. ROSSIER ST
ALEXANDRIA, VA 22311
ATTN: ERIC TERAN
TELE: 202-569-9620
EMAIL: ETERAN@EUSTILUS.COM

REVISIONS	
DATE	DESCRIPTION

KCW J.O.: 2201148
SCALE: AS SHOWN
DESIGNED: LAG
DRAWN: KCW
CHECKED: KMA
DATE: NOVEMBER 24, 2021
DWG NO.: **C-102**

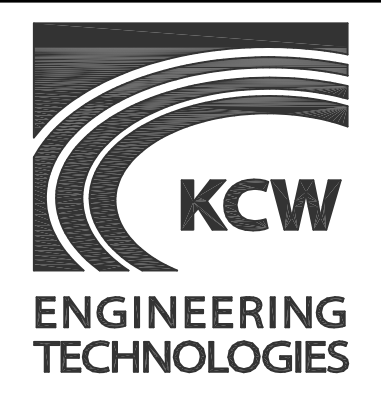


LEGEND	
--- LOD --- LOD	LIMIT OF DISTURBANCE
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	RIGHT-OF-WAY
---	PROPERTY RIGHT-OF-WAY
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. GAS
---	EX. ELECTRIC CONDUIT
---	EX. OVERHEAD WRES
--- OHW --- OHW	EX. CONTOURS (2')
○	EX. UTILITY POLE
→	EX. TRAFFIC DIRECTION
---	EX. PAVING
---	EX. ZONING
---	EX. CONTOUR
---	PR. CONTOUR
▭	PR. BUILDING
▭	PR. CONC. WALK
▭	PR. MILL & OVERLAY
▭	PR. ALLEY REPLACEMENT OR CONC. PAD
---	PR. SEWER HOUSE CONNECTION
---	PR. WATER HOUSE CONNECTION AND METER
+	EX. ELEVATION
+	PR. ELEVATION
2.1%	PR. SLOPE



GRADING PLAN **SCALE: 1"=5'**

GRADING PLAN



KCW Engineering Technologies, Inc.
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 Glen Burnie, MD 21061
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 Fax: 410.768.0200
 www.kcw-et.com

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 1308A TALBERT CT SE
 WASHINGTON, DC 20020

DEVELOPER:
 EUSTILUS LLC
 2800 N. ROSSER ST
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 ATTN: ERIC TERAN
 TELE: 202-569-9620
 EMAIL: ETERAN@EUSTILUS.COM

REVISIONS	
DATE	DESCRIPTION

KCW J.O.: 2201148
 SCALE: AS SHOWN
 DESIGNED: LAG
 DRAWN: KCW
 CHECKED: KMA
 DATE: NOVEMBER 24, 2021
 DWG NO.: **C-103**

BRADFORD PROPERTIES
 400 - 411 BRADFORD ST.
 Ward 06 Section 03 Block 1671 Lots 081-086
 CITY OF BALTIMORE, MARYLAND

UTILITY SCOPE OF WORK

CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY FOR ABANDONMENT, CONSTRUCTION AND MODIFICATION TO STORM DRAINS, WATER SERVICE, SANITARY SEWER, ELECTRIC CONDUIT AND TELECOMMUNICATION CONDUIT FOR PROPOSED LOTS. UTILITY CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF BALTIMORE. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY FOR SANITARY CONNECTIONS AND WATER SERVICES SHALL BE ACCOMPLISHED PER APPROVED DRAWINGS. RIGHT-OF-WAY PERMITS TO BE OBTAINED BY CONTRACTOR FROM THE DEPARTMENT OF TRANSPORTATION (DOT).

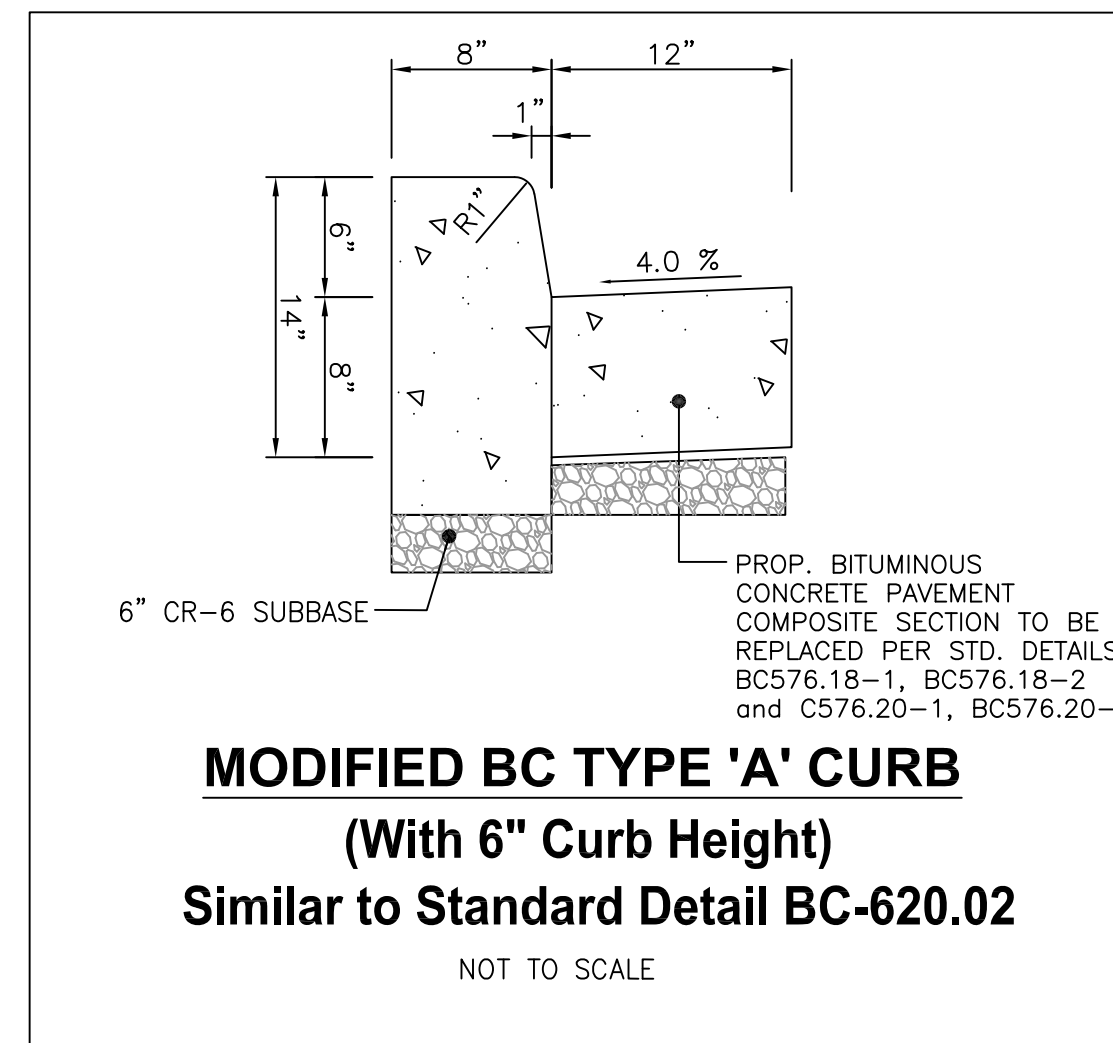
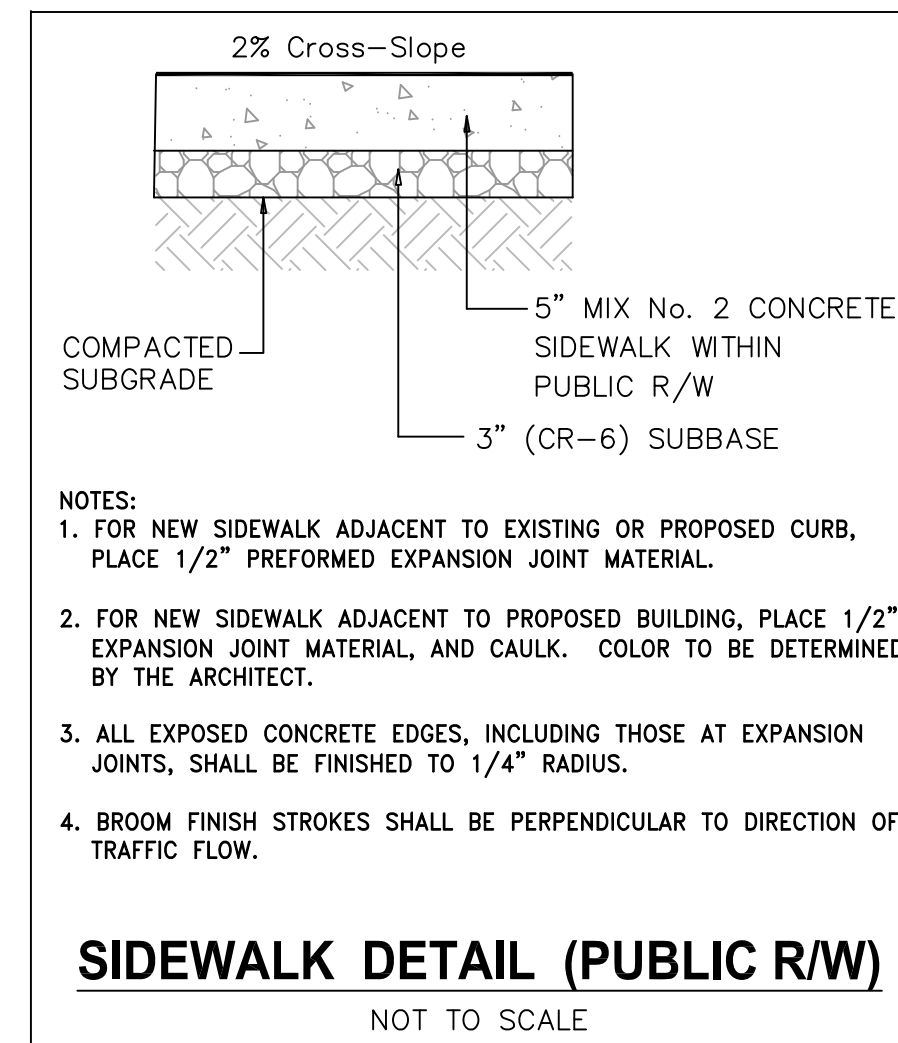
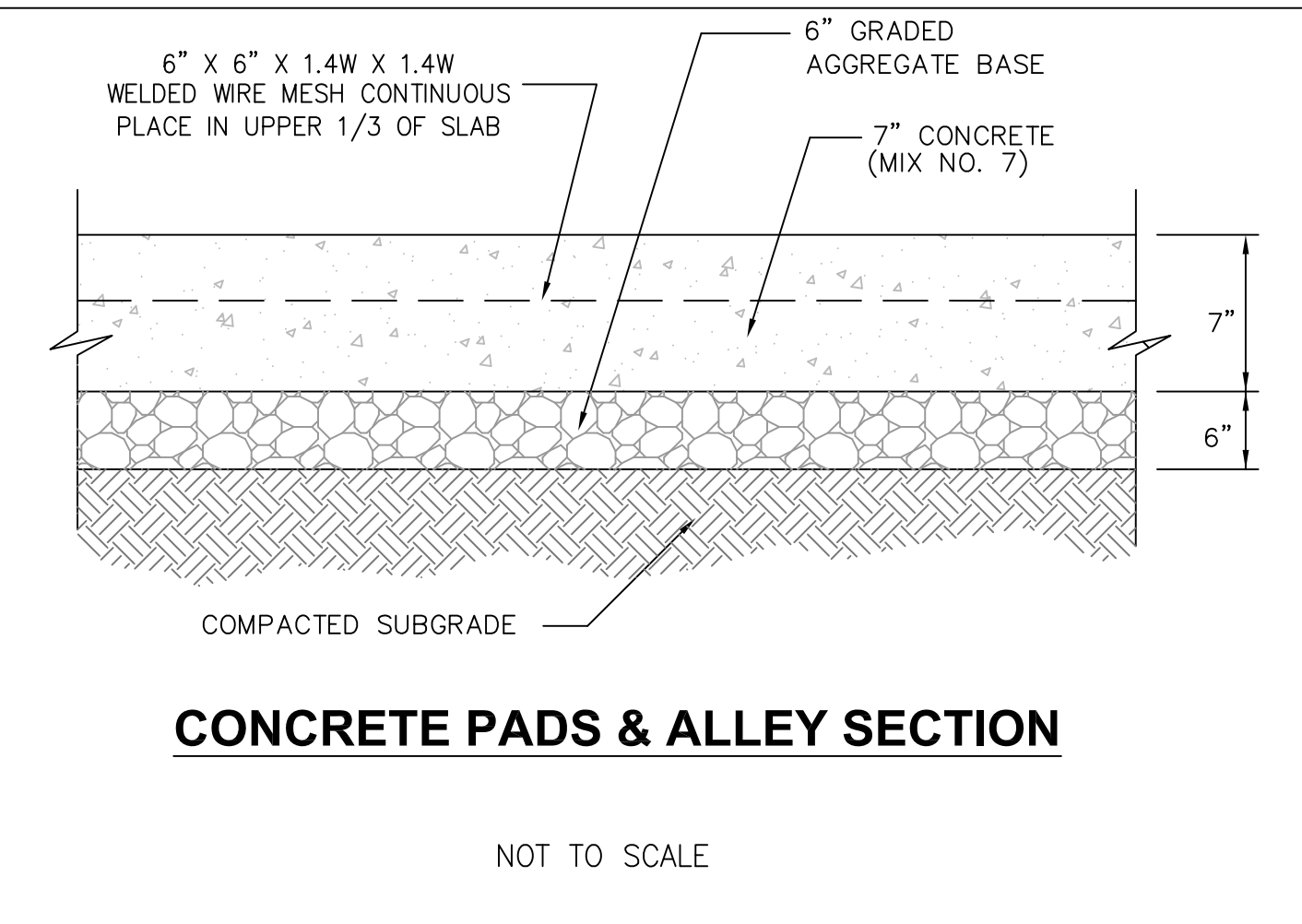
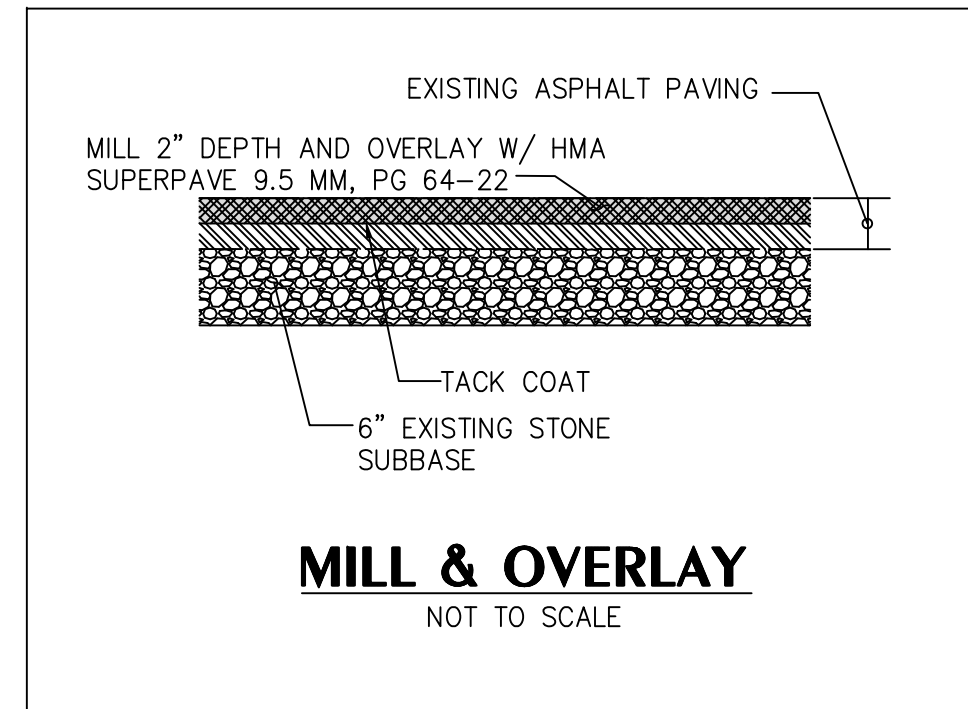
1. **STORM DRAINS**
 1. DOWNSPOUTS: ALL DOWNSPOUTS SHALL OUTFALL AT GRADE IN REAR AND DRAIN TO EXISTING ALLEY.
2. **SANITARY SEWER**
 - 1a. CONSTRUCT NEW 6" SANITARY HOUSE CONNECTIONS (SHC) FROM EXISTING PUBLIC SAN. SEWER IN N. BRADFORD STREET TO PROPERTY LINE AND CONSTRUCT CLEAN-OUT AT PROPERTY LINE PER DETAIL BC-830.14.
 - 1b. CONSTRUCT NEW 6" SANITARY HOUSE CONNECTIONS FROM CLEAN-OUT AT PROPERTY LINE TO EACH BUILDING.
 2. 6" P.V.C. (POLY-VINYL CHLORIDE) PIPE (SDR 35) ON-SITE.
 3. CLEAN-OUT: 6" P.V.C. PER BUILDING CODE CRITERIA.
3. **WATER SERVICE**
 - 1a. CONSTRUCT THREE NEW 1" WATER SERVICES FROM EX. 6" WATER MAIN IN N. BRADFORD STREET TO NEW WATER METERS.
 - 1b. CONSTRUCT SIX 3/4" WATER SUPPLIES FROM METER VAULTS TO EACH ROWHOME BUILDING. PIPE: 1" and 3/4" TYPE 'K' COPPER.
 2. METER: 5/8" TWIN WATER SUPPLY METERS PER BALTIMORE CITY DETAIL BC-838.01.
 3. MINIMUM COVER OVER WATER MAIN IS 4".
4. **ELECTRIC SERVICE**
 1. CONDUIT: 4" and 5" P.V.C. PIPE (CL. DB-120 PER ASTM-F512) TO INCLUDE U.L. LABEL AND 90° CRATING.
 2. CONTRACTOR SHALL INSTALL CONDUIT FOR ELECTRIC SERVICE FROM EXISTING CONDUIT TO NEW ROWHOMES. 36" MINIMUM COVER. ALIGNMENT AND METERING TO BE DETERMINED BY OWNER AND COORDINATED WITH BGE.
 3. ALL CONDUIT WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE CONCRETE ENCASED.
5. **TELECOMMUNICATIONS SERVICE**
 1. CONDUIT: 3" and 4" P.V.C. PIPE (SCH.40)
 2. CONTRACTOR SHALL INSTALL CONDUIT FOR TELECOMMUNICATIONS (VERIZON) SERVICE. ALIGNMENT TO BE DETERMINED BY OWNER.
 3. CONTRACTOR SHALL INSTALL CONDUIT FOR CABLE TV (COMCAST) SERVICE. ALIGNMENT TO BE DETERMINED.

PAVING SCOPE OF WORK

CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY FOR DEMOLITION, CONSTRUCTION AND MODIFICATION TO CURB & GUTTER, SIDEWALKS AND PAVING PER APPROVED CONSTRUCTION DRAWINGS.

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM BALTIMORE CITY. RIGHT-OF-WAY PERMITS TO BE OBTAINED BY CONTRACTOR FROM THE DEPARTMENT OF TRANSPORTATION.

1. **CONCRETE SIDEWALKS**
CONTRACTOR SHALL CONSTRUCT NEW WALKS IN PUBLIC R/W AND ON-SITE FOR ACCESSIBILITY. PUBLIC AND PRIVATE SIDEWALKS: 5" DEPTH SHA MIX # 2 CONCRETE ON 3" CR-6 AGGREGATE BASE.
2. **CURB AND GUTTER**
CONSTRUCT REPLACEMENT CONCRETE CURB AND GUTTER ALONG NORTH BRADFORD STREET. 6" CURB HEIGHT WITH 12" GUTTER PAN (SIMILAR TO MODIFIED TYPE 'A' CURB TO BALTIMORE CITY STD. DETAIL BC-620.11. SHA MIX # 2 CONCRETE ON 3" CR-6 AGGREGATE BASE).
3. **CONCRETE PAD**
FURNISH AND PLACE NEW PORTLAND CEMENT CONCRETE PAVING FOR PADS AND PARKING. 7" DEPTH SHA MIX # 6 HIGH EARLY STRENGTH CONCRETE ON 6" CR-6 AGGREGATE BASE.
4. **MILL & OVERLAY**
MILL 2" DEPTH AND OVERLAY W/ HMA SUPERPAVE 9.5 MM, PG 64-22 FOR TIE-IN OF EXISTING PAVING TO REPLACEMENT CURB & GUTTER.



GENERAL CONSTRUCTION NOTES

1. ALL SITE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE PLANS, THE SPECIFICATIONS WHICH ARE INCLUDED AS PART OF THIS CONTRACT, THE CITY OF BALTIMORE'S "BOOK OF STANDARDS" AND "SPECIFICATIONS FOR CONSTRUCTION", AND THE BALTIMORE CITY BUILDING CODE.
2. THE EXISTING UTILITIES SHOWN HEREON ARE BASED UPON THE BEST AVAILABLE INFORMATION FROM THE CITY OF BALTIMORE AND THE UTILITY COMPANIES. THE CORRECTNESS OR COMPLETENESS OF THE INFORMATION GIVEN IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION PRIOR TO STARTING ANY WORK.
3. CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
4. CONTRACTOR SHALL NOTIFY BALTIMORE CITY STREET LIGHTING SECTION AT 410-396-1311 AT LEAST THREE (3) DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
5. CONTRACTOR SHALL NOTIFY BALTIMORE CITY'S ENVIRONMENTAL COMPLIANCE AND LABORATORY SERVICES DIVISION, BUREAU OF WATER AND WASTEWATER, 3001 DRUID PARK DRIVE, BALTIMORE, MD 21215, Tele: 410-396-0732, Fax: 410-523-9047, E-mail: DPW.ESCInspections@baltimorecity.gov IN WRITING AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
6. CONTRACTOR SHALL CONTACT THE NEW BUSINESS REPRESENTATIVES OF VERIZON, BALTIMORE GAS ELECTRIC COMPANY, AND CABLE TV FOR SCHEDULING OF THEIR CONSTRUCTION AND/OR REMOVAL OF EXISTING FACILITIES. CONTRACTOR SHALL INSTALL ALL CONDUIT, RACEWAYS, ETC. AS REQUIRED OF THE DEVELOPER BY THE UTILITY COMPANIES TO PROVIDE THE PROJECT WITH SERVICE.
7. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES WHEN WORKING ADJACENT TO OR CROSSING EXISTING UTILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
8. ALL EXISTING PAVING AND OTHER UNSUITABLE OR EXCESS EXCAVATION SHALL BE REMOVED FROM SITE TO AN AREA WITH AN APPROVED SEDIMENT CONTROL PLAN.
9. SANITARY SEWER: PROPOSED ADDITIONS SHALL BE 6" S.D.R. 35 P.V.C. AND CONNECTED FROM PROPOSED HOUSES TO EXISTING MAIN PER BALTIMORE CITY DETAIL BC 830.14.
10. WATER: PROPOSED METERS, VAULTS, AND WATER LINES SHALL BE CONNECTED FROM PROPOSED HOUSES TO EXISTING MAIN PER BALTIMORE CITY DETAIL BC 838.01.
12. SIDEWALKS (PUBLIC): SIDEWALKS WITHIN THE PUBLIC R/W SHALL BE 5" THICK MIX. NO. 2 CONCRETE ON A 3" CR-6 STONE SUB BASE.
13. CONCRETE PADS AND ALLEY REPLACEMENT SECTION SHALL BE 7" THICK MIX NO. 6 CONCRETE ON 6" GRADDED AGGREGATE BASE.
14. ANY WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND APPROVED PERMIT FROM DEPARTMENT OF PUBLIC WORKS.
15. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY APPURTENANCES TO NEW SIDEWALK GRADE.
16. OWNER TO COORDINATE ELECTRIC, GAS, AND TELECOM SERVICES WITH BGE, VERIZON, AND/OR COMCAST. PROPOSED TRANSFORMER PAD LOCATION SHOWN FOR CONCEPTUAL PURPOSES ONLY.

SITE DETAILS

BRADFORD PROPERTIES

400 - 411 BRADFORD ST.
Ward 06 Section 03 Block 1671 Lots 081-086

CITY OF BALTIMORE, MARYLAND



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808 Landmark Drive, Suite 217
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Phone: 410.768.7700
Fax: 410.768.0200
www.kcw-et.com

OWNER:

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1308A TALBERT CT SE
WASHINGTON, DC 20020

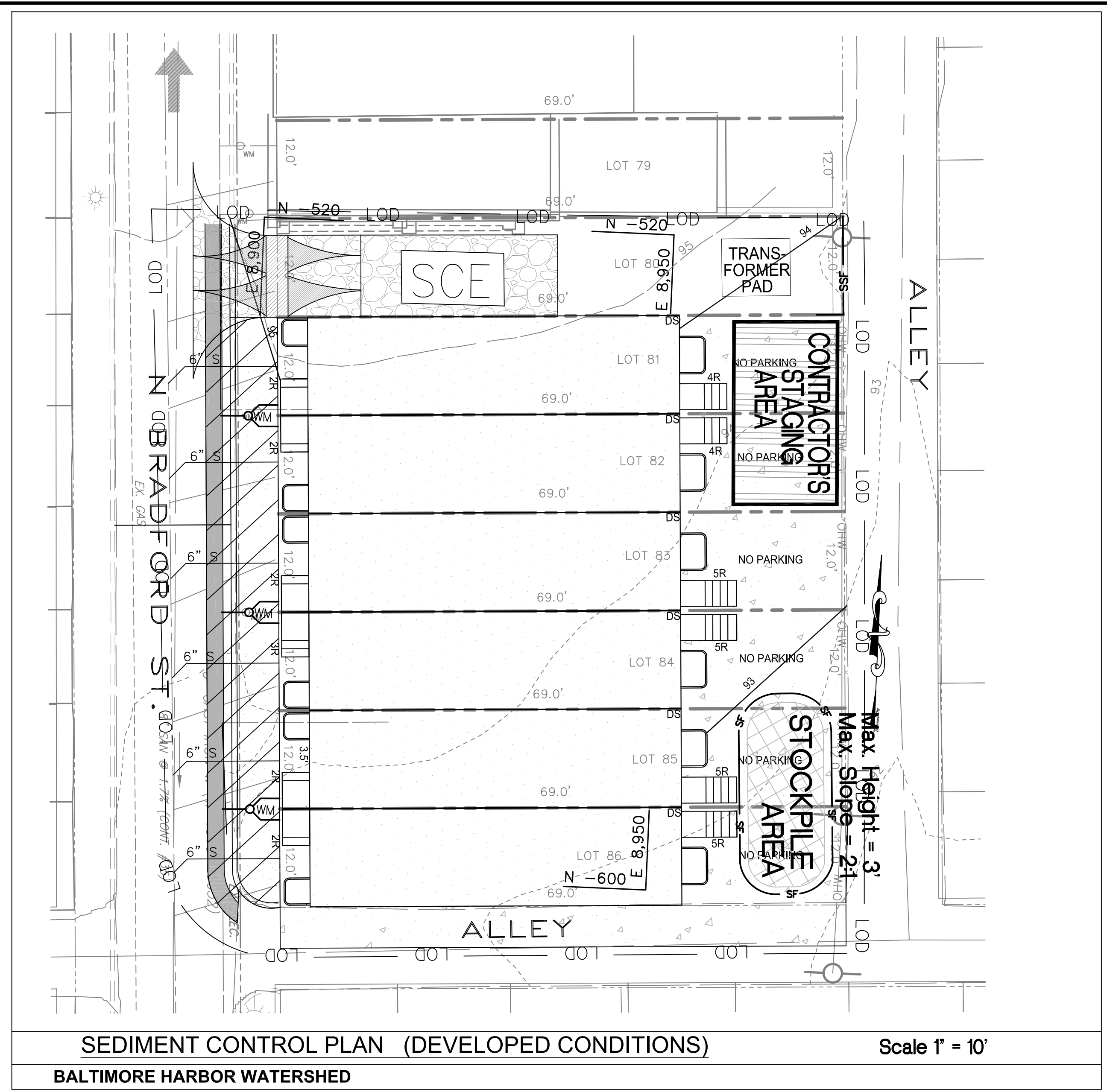
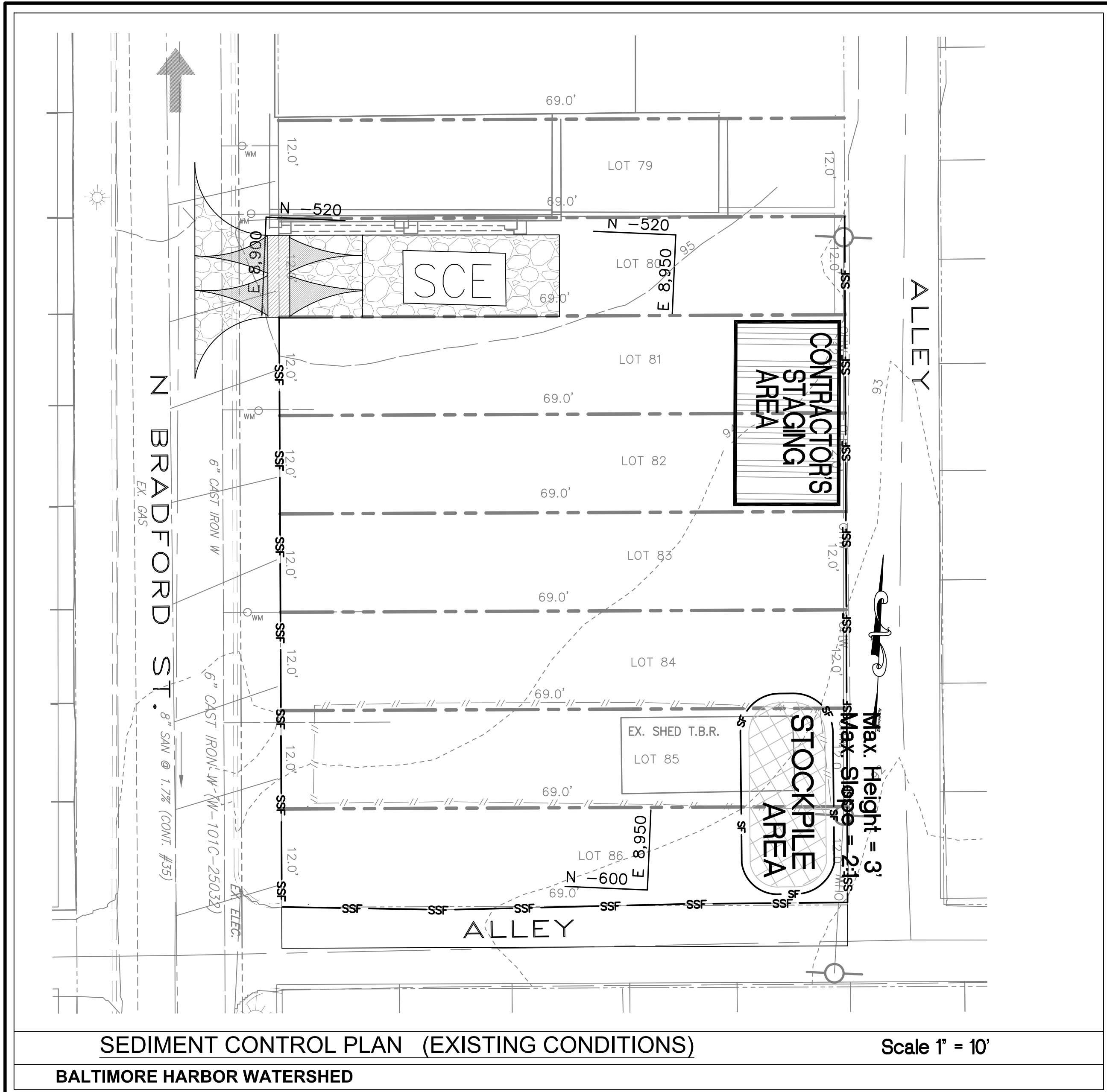
DEVELOPER:

EUSTILUS LLC
2800 N. ROSSER ST
ALEXANDRIA, VA 22311
ATTN: ERIC TERAN
TELE: 202-569-9620
EMAIL: ETERAN@EUSTILUS.COM

REVISIONS

DATE	DESCRIPTION

KCW J.O.: 2201148
SCALE: AS SHOWN
DESIGNED: LAG
DRAWN: KCW
CHECKED: KMA
DATE: NOVEMBER 24, 2021
DWG NO.: **C-104**



SEQUENCE OF CONSTRUCTION

1. OBTAIN PROPER PERMITS.
2. SUBMIT WRITTEN NOTIFICATION PRIOR TO ANY CONSTRUCTION ACTIVITY TO: THE DEPARTMENT OF PUBLIC WORKS, OFFICE OF COMPLIANCE AND LABORATORIES: 3001 BRUDY PARK DRIVE, ROOM 228, BALTIMORE, MD 21215. Tele: 410-396-0732, Fax: 410-523-9047, E-mail: DPW.ESCinspections@BaltimoreCity.gov. AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION STATING:
 - a. A REQUEST FOR A PRE-CONSTRUCTION MEETING.
 - b. WHEN CONTRACTOR INTENDS TO BEGIN CONSTRUCTION.
 - c. WHEN CONTRACTOR INTENDS TO INSTALL STORMWATER MANAGEMENT FACILITIES.
 - d. SOURCE OF BORROW MATERIAL.
 - e. LOCATION OF DISPOSAL AREA OF SITE MATERIAL.
 - f. CONTRACTOR'S TENTATIVE CLOSING DATE.
3. CLEAR AND GRUB FOR THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS.
4. INSTALL SEDIMENT CONTROL MEASURES. OBTAIN WRITTEN PERMISSION FROM THE ESC INSPECTOR TO PROCEED WITH THE SITEWORK AFTER INSTALLATION OF ESC CONTROLS.
5. ADDRESS PERMANENT OR TEMPORARY STABILIZATION WITHIN THREE (3) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL CRITICAL SLOPES GREATER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1).
6. CLEAR AND GRUB PROJECT SITE.
7. DESIGNATE STOCKPILE AREA FOR TOPSOIL. DESIGNATE CONTRACTOR'S RELATED STAGING AREA.
8. REMOVE EXISTING IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE TO INCLUDE: GRAVEL AND TIMBER CURB STOPS. ROUGH GRADE SITE.
9. EXCAVATE FOR PROPOSED BUILDING FOUNDATION. GRADE AREA TO PROVIDE POSITIVE DRAINAGE.
10. INSTALL UTILITIES.
11. CONSTRUCT BUILDING.
12. COMPLETE PROPOSED CONCRETE SIDEWALK, CURBS, AND PADS.
13. ALL INACTIVE AREAS ON THE PROJECT SITE MUST HAVE EITHER PERMANENT OR TEMPORARY STABILIZATION WITHIN SEVEN (7) DAYS OF BEING DISTURBED.
14. STABILIZE DISTURBED AREA AS PROPOSED ON STABILIZATION SCHEDULE ON THIS ESC PLAN.
15. REMOVE SEDIMENT CONTROLS WITH PRIOR WRITTEN APPROVAL FROM THE BALTIMORE CITY SEDIMENT INSPECTOR WHEN STABILIZATION IS EVIDENT AT PROJECT SITE, AND IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THIS PROCESS.

LEGEND

	CONCRETE PAVING
	CONCRETE WALKS
	MILL & OVERLAY
	PR. BUILDINGS
	SAME DAY STABILIZATION

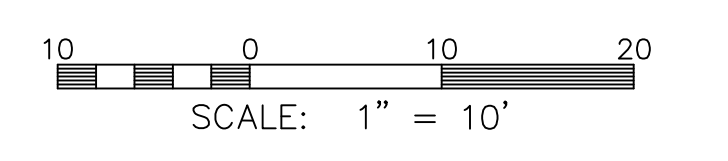
SIDEWALK CONSTRUCTION NOTES
CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH DAY WITH STONE SUB-BASE.

MAINTENANCE OF SEDIMENT CONTROLS
CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".

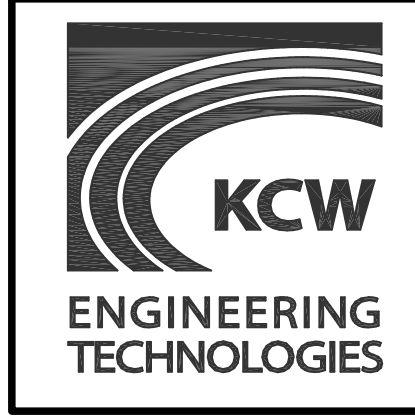
UTILITY CONSTRUCTION NOTES

1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

STANDARD STABILIZATION NOTE
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



EROSION & SEDIMENT CONTROL PLAN



KCW Engineering Technologies, Inc.
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DEVELOPER:
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REVISIONS	
DATE	DESCRIPTION

KCW J.O.: 2201148
SCALE: AS SHOWN
DESIGNED: LAG
DRAWN: KCW
CHECKED: KMA
DATE: NOVEMBER 22, 2021
DWG NO.: **C-111**

BRADFORD PROPERTIES
400 - 411 BRADFORD ST.
Ward 06 Section 03 Block 1671 Lots 081-086
CITY OF BALTIMORE, MARYLAND

EROSION AND SEDIMENT CONTROL – STANDARD SPECIFICATIONS FOR BALTIMORE CITY PART 2 OF 2

SHEET REVISION DATE: JANUARY 19, 2018

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA
A. SEED MIXTURES

- GENERAL USE
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
 - FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
 - FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3.5 POUNDS PER 1000 SQUARE FEET (50 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

- TURFGRASS MIXTURES
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - KENTUCKY BLUEGRASS - FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL, MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - KENTUCKY BLUEGRASS-PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
 - KENTUCKY BLUEGRASS/FINE FESCUE SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 50 TO 70 PERCENT. SEEDING RATE: 1.5 TO 3 POUNDS PER 1000 SQUARE FEET. NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77. "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SERVICE, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
 - WESTERN MD:
 - MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES 5B, 6A)
 - CENTRAL MD:
 - MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE 6B)
 - SOUTHERN MD, EASTERN SHORE:
 - MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES 7A, 7B)

- TILL AREAS TO RECEIVE SEED BY DIGGING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND MAKE THE AREAS TO PREPARE PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1.5 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.

- IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH 0.5 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

- SOIL TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
 - GENERAL SPECIFICATIONS
 - CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
 - SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCH, PLUS OR MINUS 0.25 INCH. AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
 - STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
 - SOD MUST NOT BE HARVESTED OR TRANSPANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
 - SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
 - SOD INSTALLATION
 - DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
 - LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
 - WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
 - WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
 - SOD MAINTENANCE
 - IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
 - AFTER THE FIRST WEEK SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
 - DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN ONE THIRD OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

PERMANENT SEEDING SUMMARY

NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
	TALL FESCUE	60		1/2 IN				
	PERENNIAL RYEGRASS	20	2/15-4/30	1/2 IN	45 POUNDS PER ACRE (1.0 LB/1000 SF)	90 POUNDS PER ACRE (2.0 LB/1000 SF)	90 POUNDS PER ACRE (2.0 LB/1000 SF)	2 TONS/AC (20 LB/1000 SF)
	KENTUCKY BLUEGRASS	40		1/2 IN				

PERMANENT SEEDING NOTES

- THE SEEDING DATES LISTED ARE AVERAGES FOR THE IDENTIFIED HARDNESS ZONE. WHEN SEEDING TOWARD THE END OF THE LISTED PLANTING DATES, OR WHEN CONDITIONS ARE EXPECTED TO BE LESS THAN OPTIMAL, SELECT AN APPROPRIATE NURSE CROP FROM THE TEMPORARY SEEDING SUMMARY FOUND ON THE EROSION AND SEDIMENT CONTROL - STANDARD SPECIFICATIONS FOR BALTIMORE CITY PART 1 OF 2, AND PLANT TOGETHER WITH THE PERMANENT SEEDING MIX.
- SEEDING TOWARD THE END OF PLANTING DATE RANGES MAY REQUIRE SUPPLEMENTAL WATERING TO ENSURE PLANT ESTABLISHMENT.
- FOR GUIDANCE ON STABILIZATION OUTSIDE OF A SEEDING SEASON, SEE B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION FOUND ON EROSION AND SEDIMENT CONTROL PART - STANDARD SPECIFICATIONS FOR BALTIMORE CITY 1 OF 2.

B-4-7 STANDARDS AND SPECIFICATIONS FOR HEAVY USE AREA PROTECTION

DEFINITION
THE STABILIZATION OF AREAS FREQUENTLY AND INTENSIVELY USED BY SURFACING WITH SUITABLE MATERIALS (E.G., MULCH AND AGGREGATE).

PURPOSE
TO PROVIDE A STABLE, NON-ERODING SURFACE FOR AREAS FREQUENTLY USED AND TO IMPROVE WATER QUALITY FROM THE RUNOFF OF THESE AREAS.

CONDITIONS WHERE PRACTICE APPLIES
THIS PRACTICE APPLIES TO INTENSIVELY USED AREAS (E.G., EQUIPMENT AND MATERIAL STORAGE, STAGING AREAS, HEAVILY USED TRAILERS, LANES).

CRITERIA

- A MINIMUM 4-INCH BASE COURSE OF CRUSHED STONE OR OTHER SUITABLE MATERIALS INCLUDING WOOD CHIPS OVER NONWOVEN GEOTEXTILE SHOULD BE PROVIDED AS SPECIFIED IN SECTION H-1 MATERIALS.
- SELECT THE STABILIZING MATERIAL BASED ON THE INTENDED USE, DESIRED MAINTENANCE FREQUENCY, AND RUNOFF CONTROL.
- THE TRANSPORT OF SEDIMENTS, NUTRIENTS, OILS, CHEMICALS, PARTICULATE MATTER ASSOCIATED WITH VEHICULAR TRAFFIC AND EQUIPMENT, AND MATERIAL STORAGE NEEDS TO BE CONSIDERED IN THE SELECTION OF MATERIAL. ADDITIONAL CONTROL MEASURES MAY BE NECESSARY TO CONTROL SOME OF THESE POTENTIAL POLLUTANTS.
- SURFACE EROSION CAN BE A PROBLEM ON LARGE HEAVY USE AREAS. IN THESE SITUATIONS, MEASURES TO REDUCE THE FLOW LENGTH OF RUNOFF OR EROSIVE VELOCITIES NEED TO BE CONSIDERED.

MAINTENANCE
THE HEAVY USE AREAS MUST BE MAINTAINED IN A CONDITION THAT MINIMIZES EROSION. THIS MAY REQUIRE ADDING SUITABLE MATERIAL, AS SPECIFIED ON THE APPROVED PLANS, TO MAINTAIN A CLEAN SURFACE.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION
A ROUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.

PURPOSE
TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CONDITIONS WHERE PRACTICE APPLIES
STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

CRITERIA

- THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.
- THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.
- RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
- ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.
- CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
- WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 37 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
- IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERVIOUS SHEETING.

MAINTENANCE
THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

H-5 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACE TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES
AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITH-OUT TREATMENT.

SPECIFICATIONS

- MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.
- VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.
- TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS.
- BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

SUPPLEMENTAL EROSION AND SEDIMENT CONTROL NOTES

- FOR UTILITY TRENCHES OUTSIDE THE DRAINAGE AREA LIMITS OF EROSION AND SEDIMENT CONTROL (ESC) CONTROLS, THE CONTRACTOR SHALL OPEN ONLY A SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKDAY. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED OVERNIGHT. ANY EXCESS STOCKPILE MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORKDAY. FOR PEROUS SURFACES, THE USE OF ANY VEHICLE TRAFFIC IS PROHIBITED THE FIRST 24 HOURS AFTER A RAIN EVENT.
- IF A STOCKPILE AREA IS NOT SHOWN ON THE APPROVED ESC PLAN, NO STOCKPILING SHALL BE ALLOWED. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORK DAY AND SENT TO A DISPOSAL SITE GOVERNED BY AN APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- IF A STAGING AREA IS NOT SHOWN ON THE APPROVED ESC PLAN, NO STAGING AREA SHALL BE ALLOWED ON SITE. STAGING AREAS OUTSIDE OF THE LOD MUST BE LOCATED ON AN IMPERVIOUS SURFACE, AND SHALL NOT RESULT IN EARTH DISTURBANCE. STOCKPILES OF ERODIBLE MATERIAL WILL NOT BE PERMITTED AT A STAGING AREA.
- ALL DISTURBED AREAS SHALL BE STABILIZED PER THE STABILIZATION SCHEDULE.
- THE ESC INSPECTOR HAS AUTHORITY TO REQUIRE ADDITIONAL ESC CONTROLS BEYOND THOSE SHOWN ON THE APPROVED ESC PLAN. ANY ADDITIONAL CONTROLS REQUIRED BY THE INSPECTOR SHALL BE PROVIDED BY THE CONTRACTOR AT THE DIRECTION OF THE INSPECTOR WITH 24 HOURS OF VERBAL NOTIFICATION BY THE ESC INSPECTOR.
- WHERE NO STABILIZED CONSTRUCTION ENTRANCE (SCE) IS PROVIDED, THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LOD. THIS EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED WORK IS COMPLETE, AND SHALL HAVE TREADS/TIRES CLEANED PRIOR TO LEAVING THE LOD. ALL MATERIAL REMOVAL OR DELIVERY SHALL BE EITHER LIFTED FROM OR INTO THE LOD, AND ANY SEDIMENT TRACKED OR DROPPED OUTSIDE THE LOD CLEANED IMMEDIATELY. FLUSHING WILL NOT BE PERMITTED.
- WHERE SAME DAY STABILIZATION IS SPECIFIED ON THE ESC PLAN, IT SHALL BE CONSIDERED THE PRIMARY ESC CONTROL. ANY CONTROLS PROVIDED DOWNSTREAM OF AREAS SPECIFIED FOR SAME DAY STABILIZATION SHALL BE CONSIDERED SECONDARY CONTROLS UNLESS SPECIFIED OTHERWISE. (SECONDARY CONTROLS ARE DEFINED AS CONTROLS PROVIDED AS BACKUP MEASURES TO A PRIMARY CONTROL).
- SAME DAY STABILIZATION IS DEFINED AS THE COMPLETION OF PROPOSED WORK WITHIN A DEFINED AREA WITH THE STIPULATION OF A NON-ERODIBLE SURFACE AT THE END OF EACH WORK DAY. EXAMPLES OF ACCEPTABLE NON-ERODIBLE SURFACES INCLUDE PAVEMENT, STEEL PLATES, A 2MM MINIMUM STONE LAYER, OR STABILIZATION MATTING OVER PERMANENT SEEDING. THIRTY (30) MIL PLASTIC SHEETING WITH ANCHORING MAY BE CONSIDERED ACCEPTABLE IF EITHER SPECIFIED ON AN APPROVED PLAN, OR APPROVED BY THE ESC INSPECTOR. TEMPORARY SEEDING AND MULCH IS NOT CONSIDERED AN ACCEPTABLE SAME DAY STABILIZATION PRACTICE.

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN A HORIZONTAL TO 1 VERTICAL (3:1); AND
- SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

MAINTENANCE OF SEDIMENT CONTROL

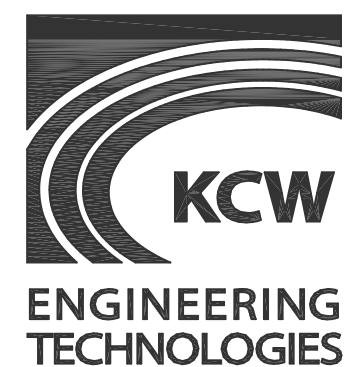
CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR WILL COMPLY WITH ALL REQUIREMENTS OF SEDIMENT AND EROSION CONTROL AS SET FORTH IN THE MARYLAND SEDIMENT AND EROSION MANUAL AND BALTIMORE CITY CODE ARTICLE 7.
- SUBMIT A WRITTEN NOTIFICATION TO: THE DEPARTMENT OF PUBLIC WORKS, OFFICE OF COMPLIANCE AND LABORATORIES, 3001 DRUID PARK DRIVE, ROOM 228, BALTIMORE, MD 21215, PHONE NUMBER: 410-396-0732, FAX: 410-323-6047, SPWESCONNECTIONS@BALTIMORECITY.GOV, AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION STATING:
 - A REQUEST FOR A PRECONSTRUCTION MEETING.
 - WHEN CONTRACTOR INTENDS TO BEGIN CONSTRUCTION.
 - WHEN CONTRACTOR INTENDS TO INSTALL STORMWATER MANAGEMENT FACILITIES.
 - SOURCE OF BORROW MATERIAL.
 - LOCATION OF DISPOSAL AREA OF SITE MATERIAL.
 - CONTRACTOR'S TENTATIVE CLOSING DATE.
- INITIAL DISTURBANCE WILL BE LIMITED TO THAT NECESSARY TO GAIN ENTRANCE TO THE SITE AND INSTALL NECESSARY SEDIMENT CONTROLS AS PER THE APPROVED PLANS.
- ALL SEDIMENT CONTROLS AND CRITICAL SLOPES MUST BE STABILIZED WITHIN THREE (3) CALENDAR DAYS. ALL OTHER INACTIVE DISTURBED AREAS ON THE PROJECT SITE MUST BE STABILIZED WITHIN SEVEN (7) CALENDAR DAYS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE WHENEVER POSSIBLE AND CONFINED TO AN AREA WHERE IT WILL NOT BE OBSTRUCT THE NORMAL COURSE OF DRAINAGE.
- PUMPING OF SEDIMENT LADEN WATER WILL NOT BE ALLOWED UNLESS IT IS FILTERED BY WAY OF AN APPROVED SEDIMENT TRAPPING DEVICE.
- CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES IS MANDATORY.
- ANY SEDIMENT CONTROL DEVICES DISTURBED DURING UTILITY CONSTRUCTION MUST BE RESTORED IMMEDIATELY.
- ALL POINTS OF INGRESS AND EGRESS SHALL BE PROTECTED TO MINIMIZE TRACKING OF MUD ON TO PUBLIC RIGHT-OF-WAYS.
- ANY EARTH, GRAVEL, AND/OR OTHER MATERIAL TRACKED, SPILLED OR WASHED ON TO ADJACENT ROADS MUST BE IMMEDIATELY REMOVED AND DISPOSED OF IN A PROPER MANNER. NO FLUSHING WILL BE PERMITTED. ALL MATERIAL MUST BE REMOVED BY MEANS OF SHOVELING AND SWEEPING.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 5,000 SQ. FT., THE CONTRACTOR SHALL HAVE A BALTIMORE CITY EROSION AND SEDIMENT CONTROL INSPECTOR INSPECT AND APPROVE THE WORK COMPLETED AT THE STAGES OF CONSTRUCTION SPECIFIED BELOW:
 - UPON COMPLETION OF THE INSTALLATION OF THE PERIMETER SEDIMENT CONTROLS;
 - DURING ALL GRADING AND BUILDING OPERATIONS;
 - UPON FINAL STABILIZATION OF THE ENTIRE SITE PRIOR TO REMOVAL OF THE SEDIMENT CONTROLS.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED SEDIMENT AND EROSION CONTROL PLAN WITHOUT FIRST RECEIVING APPROVAL FROM THE OFFICE OF COMPLIANCE AND LABORATORIES. VARIATIONS TO THE ORIGINAL PLAN MUST BE SUBMITTED IN WRITING WITH ALL PROPOSED MODIFICATIONS STILL BEING HIGHLIGHTED. SUBSTANTIAL CHANGES WILL NECESSITATE AMENDMENT OF THE GRADING/BUILDING PERMIT.

EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.

SEDIMENT CONTROL DETAILS - 2



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Fax: 410.768.0200
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EUSTILUS LLC
2800 N. ROSSER ST
ALEXANDRIA, VA 22311
ATTN: ERIC TERAN
TELE: 202-569-9620
EMAIL: ETERAN@EUSTILUS.COM

REVISIONS

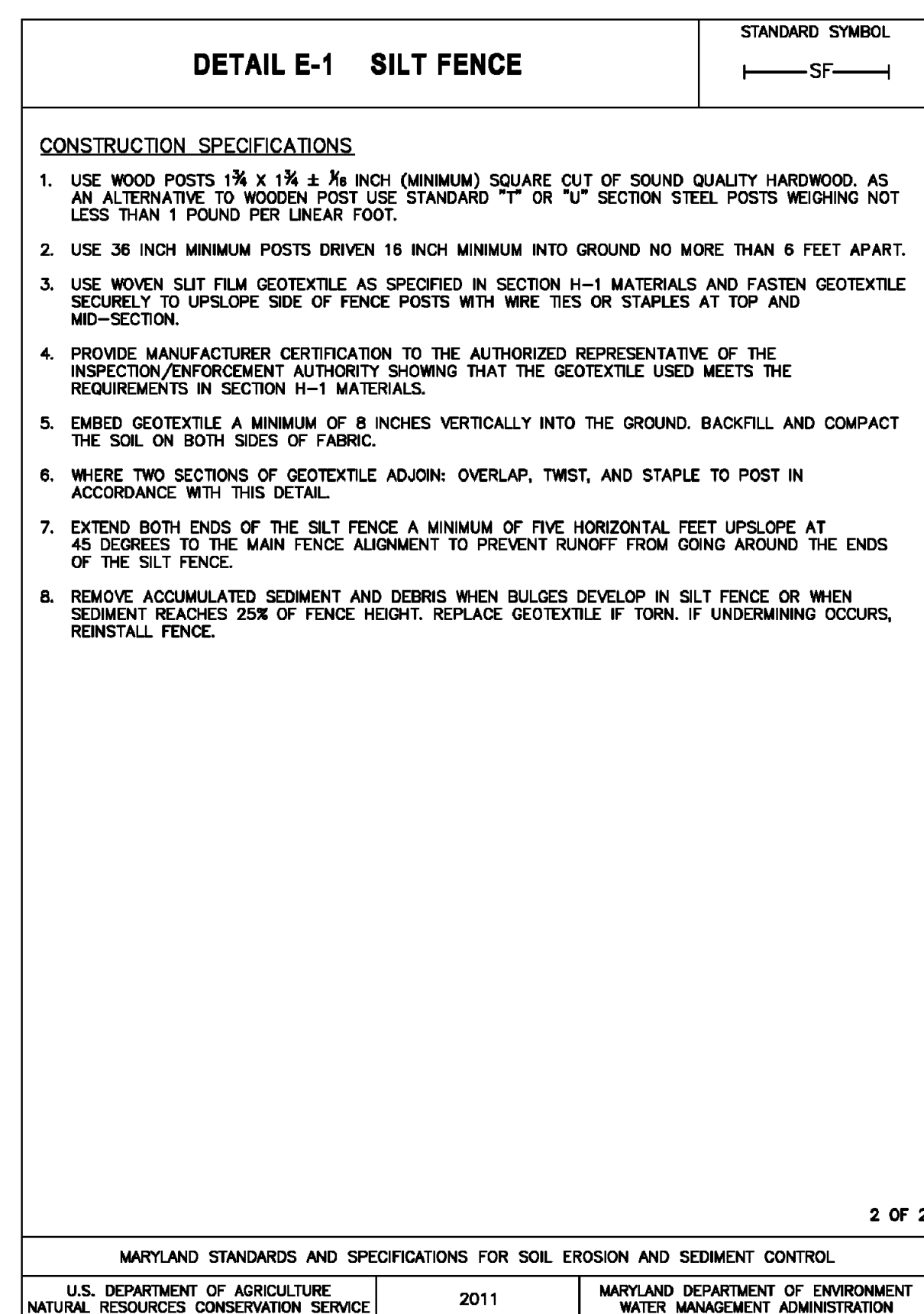
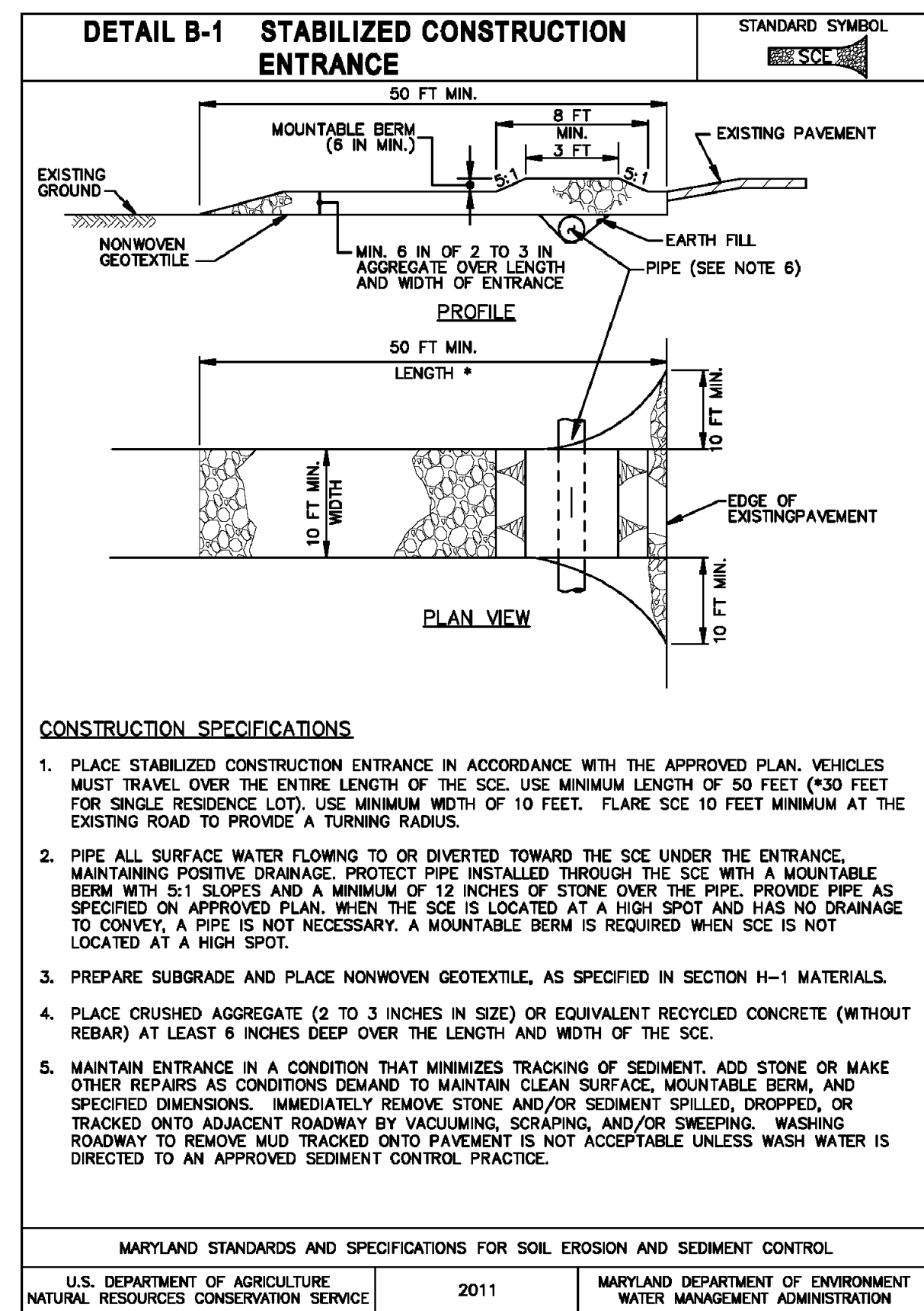
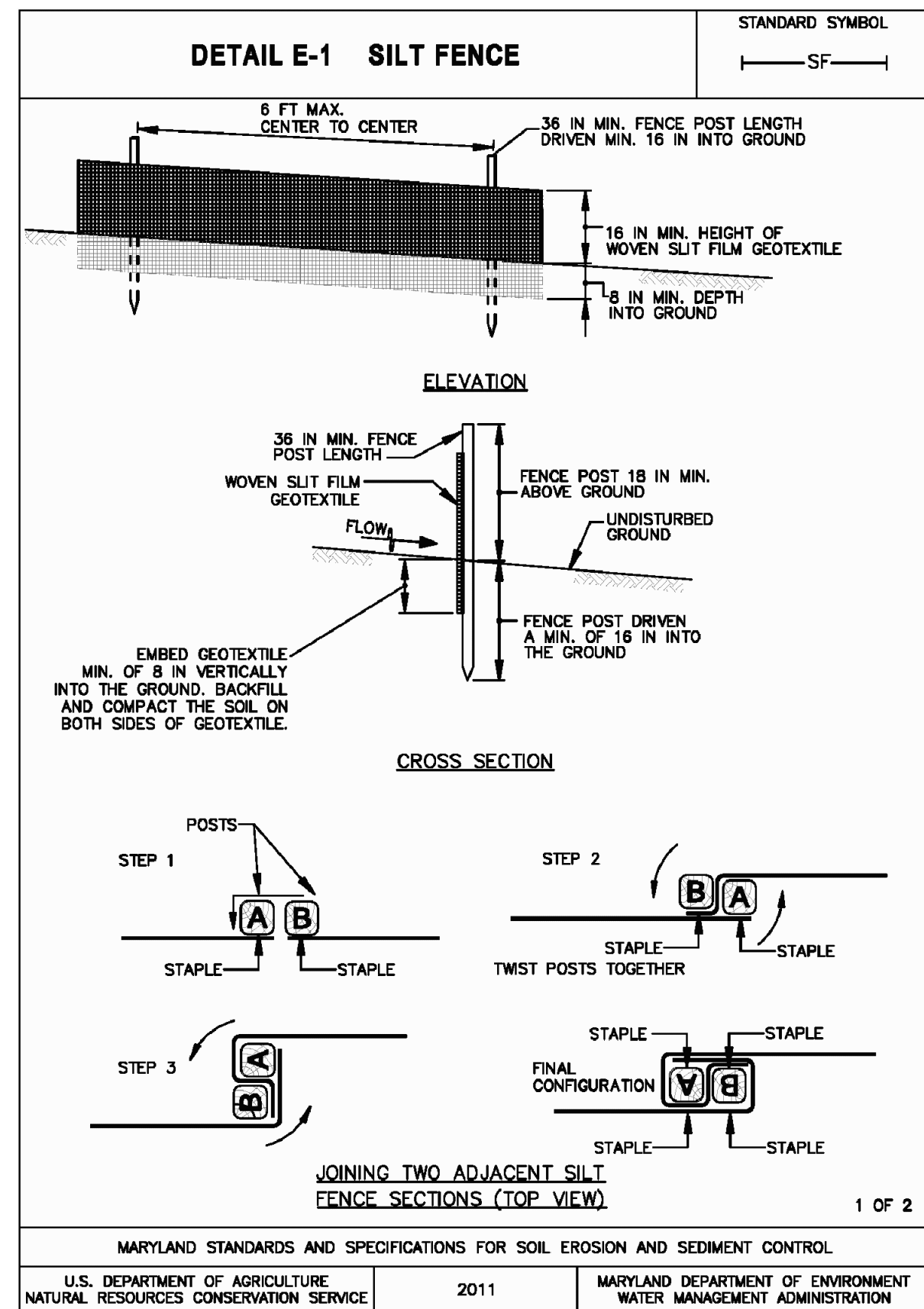
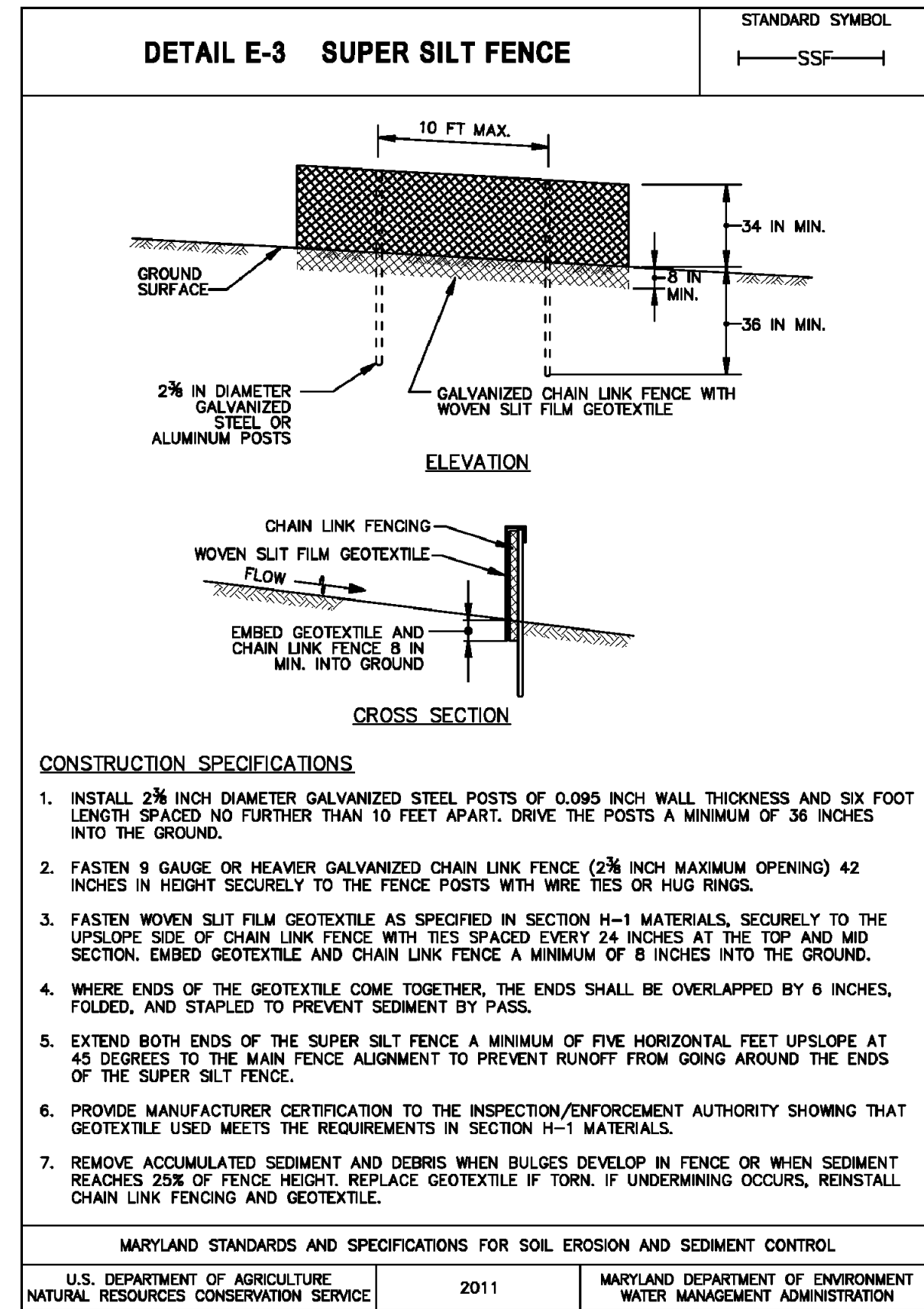
DATE	DESCRIPTION

KCW J.O.:	2201148
SCALE:	AS SHOWN
DESIGNED:	LAG
DRAWN:	KCW
CHECKED:	KMA
DATE:	NOVEMBER 22, 2021
DWG NO.:	C-113

BRADFORD PROPERTIES

400 - 411 BRADFORD ST.
Ward 06 Section 03 Block 1671 Lots 081-086

CITY OF BALTIMORE, MARYLAND



SEDIMENT CONTROL DETAILS - 3

BRADFORD PROPERTIES

400 - 411 BRADFORD ST.
 Ward 06 Section 03 Block 1671 Lots 081-086

CITY OF BALTIMORE, MARYLAND



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REVISIONS

DATE	DESCRIPTION

KCW J.O.:	2201148
SCALE:	AS SHOWN
DESIGNED:	LAG
DRAWN:	KCW
CHECKED:	KMA
DATE:	NOVEMBER 22, 2021
DWG NO.:	C-114